

# 101 WEST MAIN STREET



ALLEN-GUERRA ARCHITECTURE  
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101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO  
TITLE: COVER SHEET

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## LOCATION MAP



PROJECT SITE:  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
101 WEST MAIN ST

## PROJECT DIRECTORY

**OWNER**  
NHP FOUNDATION  
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**LANDSCAPE ARCHITECT**  
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**SURVEYOR**  
RANGE WEST ENGINEERS & SURVEYORS, INC  
PO BOX 589  
SILVERTHORNE, COLORADO 80498  
T: 970.468.6261

**GENERAL CONTRACTOR**  
TBD

**CIVIL ENGINEER**  
ALPINE ENGINEERING, INC  
34510 HWY 6 / UNIT A9 / PO BOX 97  
EDWARDS, COLORADO 81632  
T: 970.926.3373

**GEOTECHNICAL ENGINEER**  
TBD

## SHEET INDEX

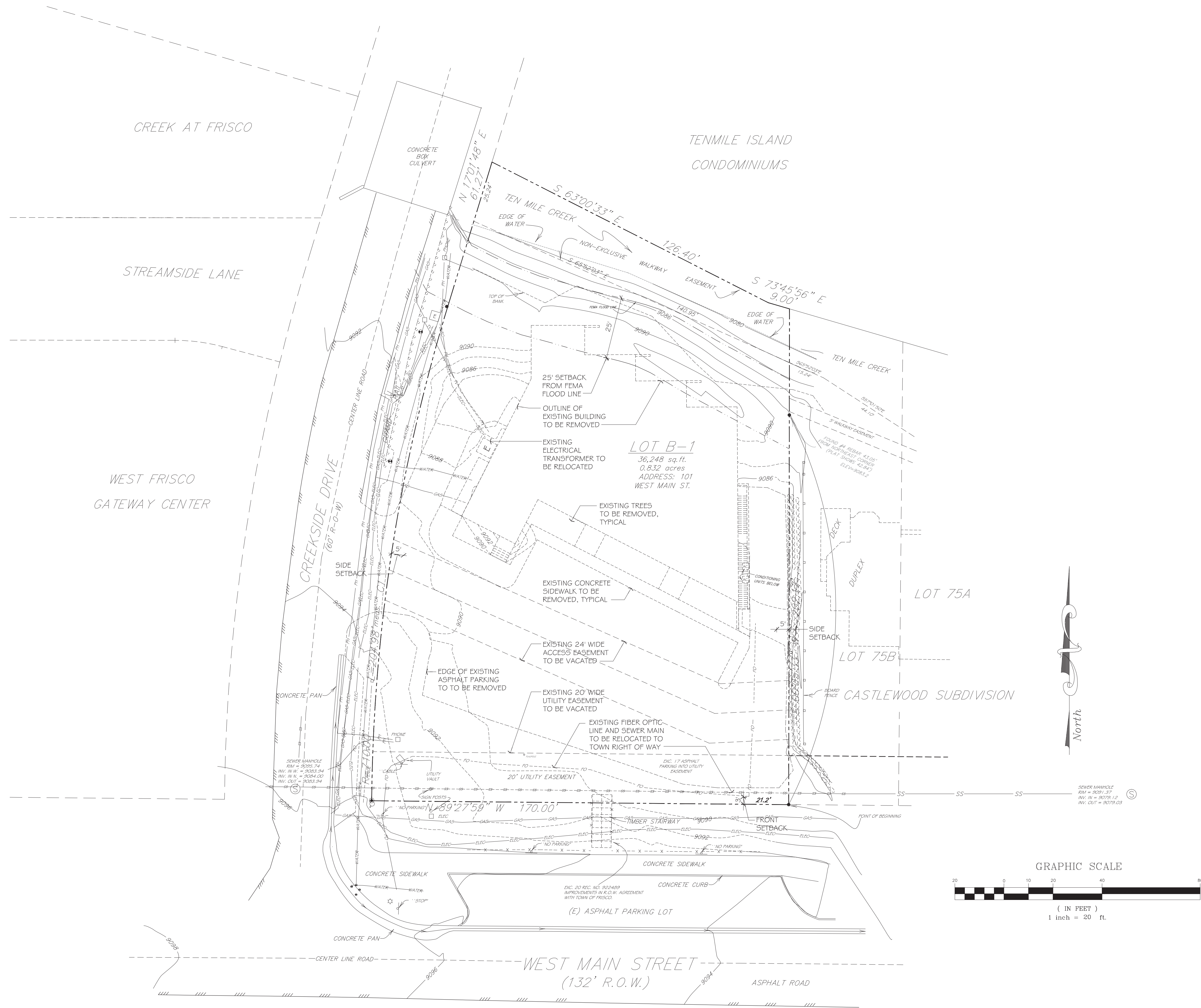
C5	COVER SHEET
A1.0	EXISTING SITE AND DEMO PLAN
A1.1	PROPOSED SITE PLAN
C2.0	GRADING AND DRAINAGE
C3.0	UTILITY PLAN
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SURVEY	

ISSUE:	DATE:
DRC	7 DEC 2022
SKETCH	9 JAN 2023
SKETCH	3 MAY 2023
UPDATE	8 AUG 2023
DRC	26 OCT 2023
SKETCH	3 NOV 2023

PROJECT #: 22105

# INFO





101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

EXISTING SITE & DEMO PLAN

TITLE

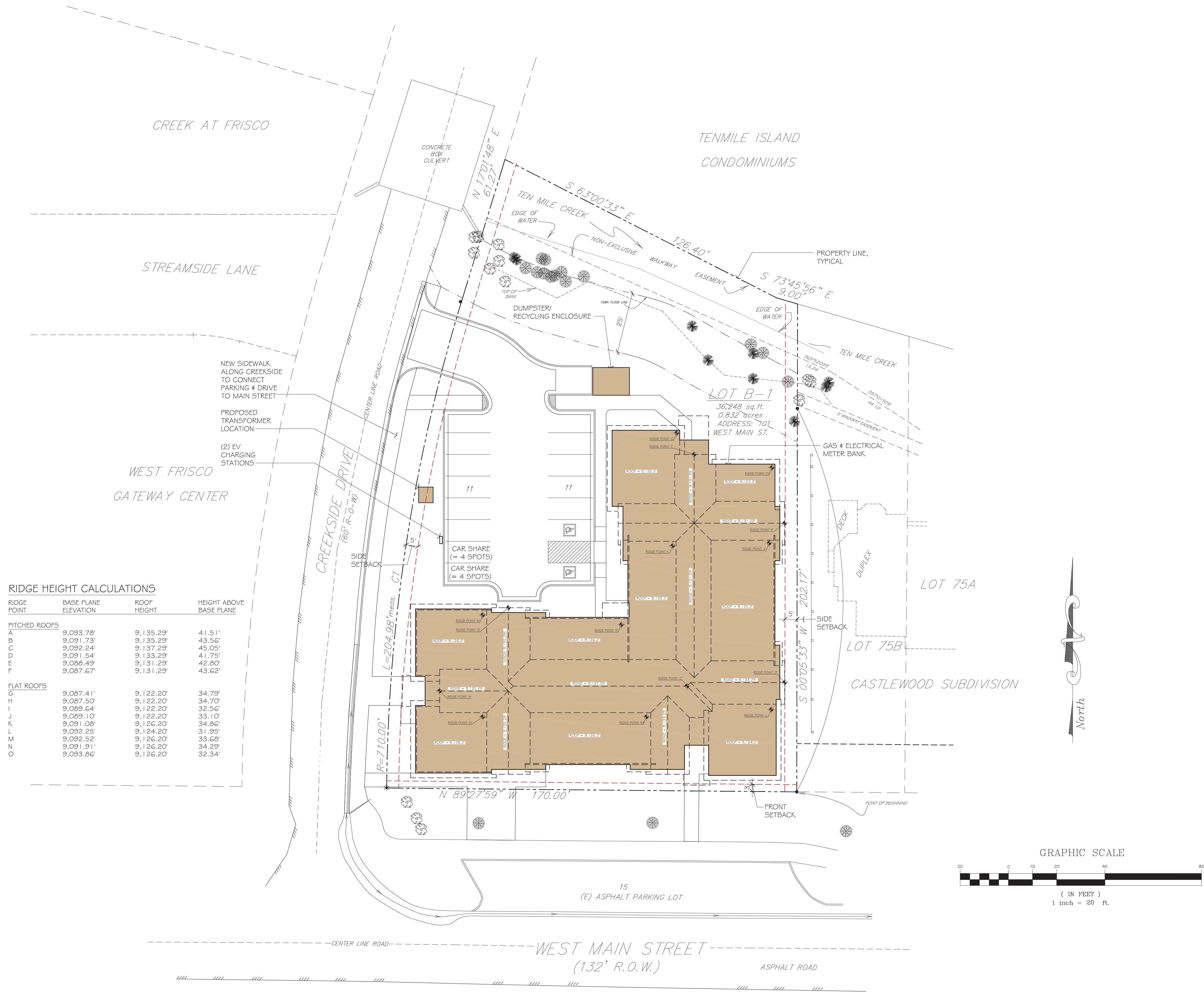
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PROJECT #: 22105

A1.0





101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

PROPOSED SITE PLAN

TITLE

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ISSUE:	DATE:
DRC	7 DEC 2022
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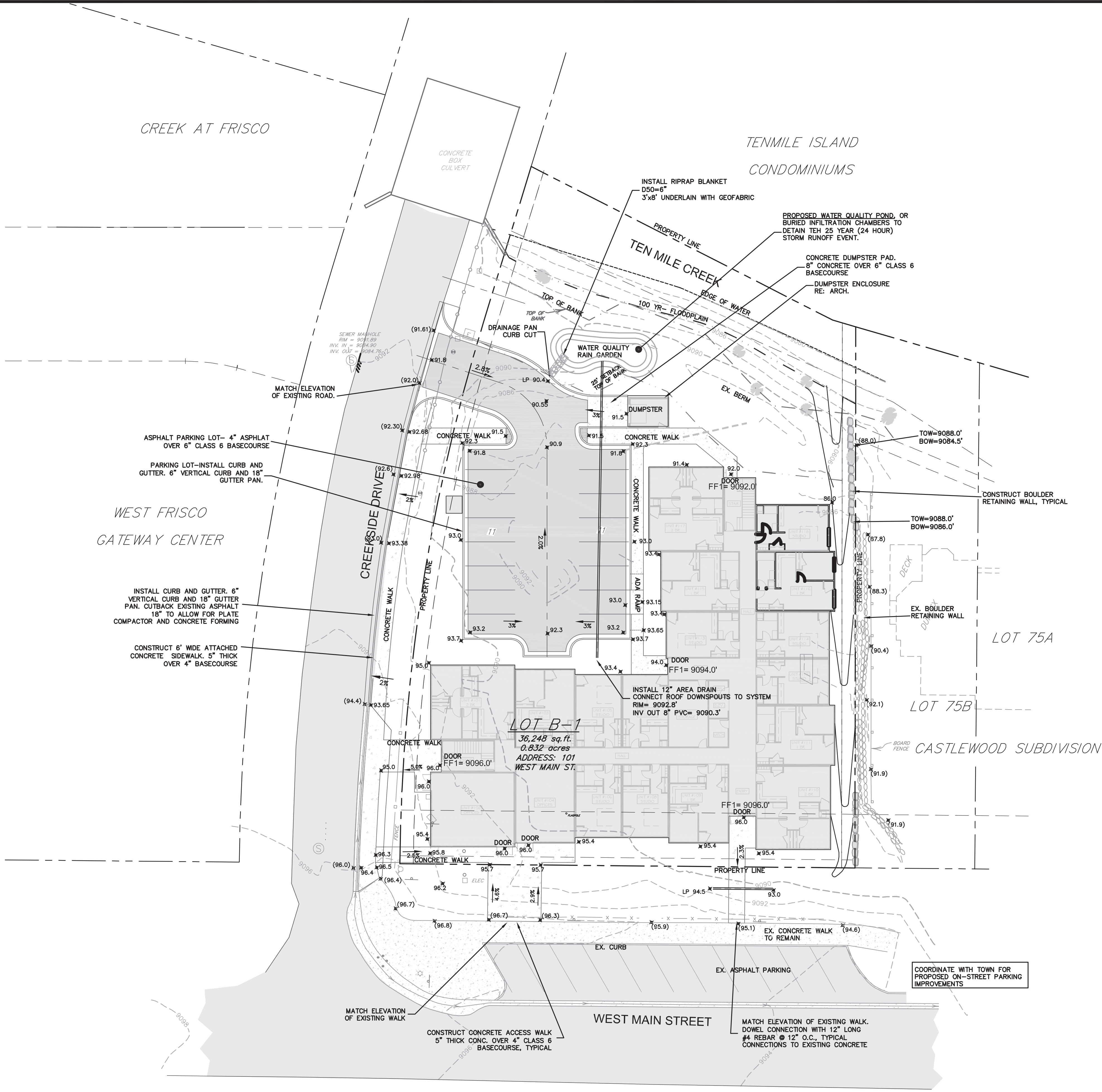
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PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



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GRADE TO DRAIN AWAY FROM  
BUILDING IN ALL AREAS

TOPOGRAPHIC INFORMATION WAS  
PROVIDED BY RANGE WEST 2022

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	EASEMENT
	PROPOSED CONTOUR
	PROPOSED GRADING, SLOPE/SPOT
	EXISTING GRADING, SLOPE/SPOT
	PROPOSED STORM SEWER
	PROPOSED BOULDER RETAINING
	PROPOSED CONCRETE/ASPHALT



GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft.

# 101 WEST MAIN STREET FRISCO, CO GRADING AND DRAINAGE

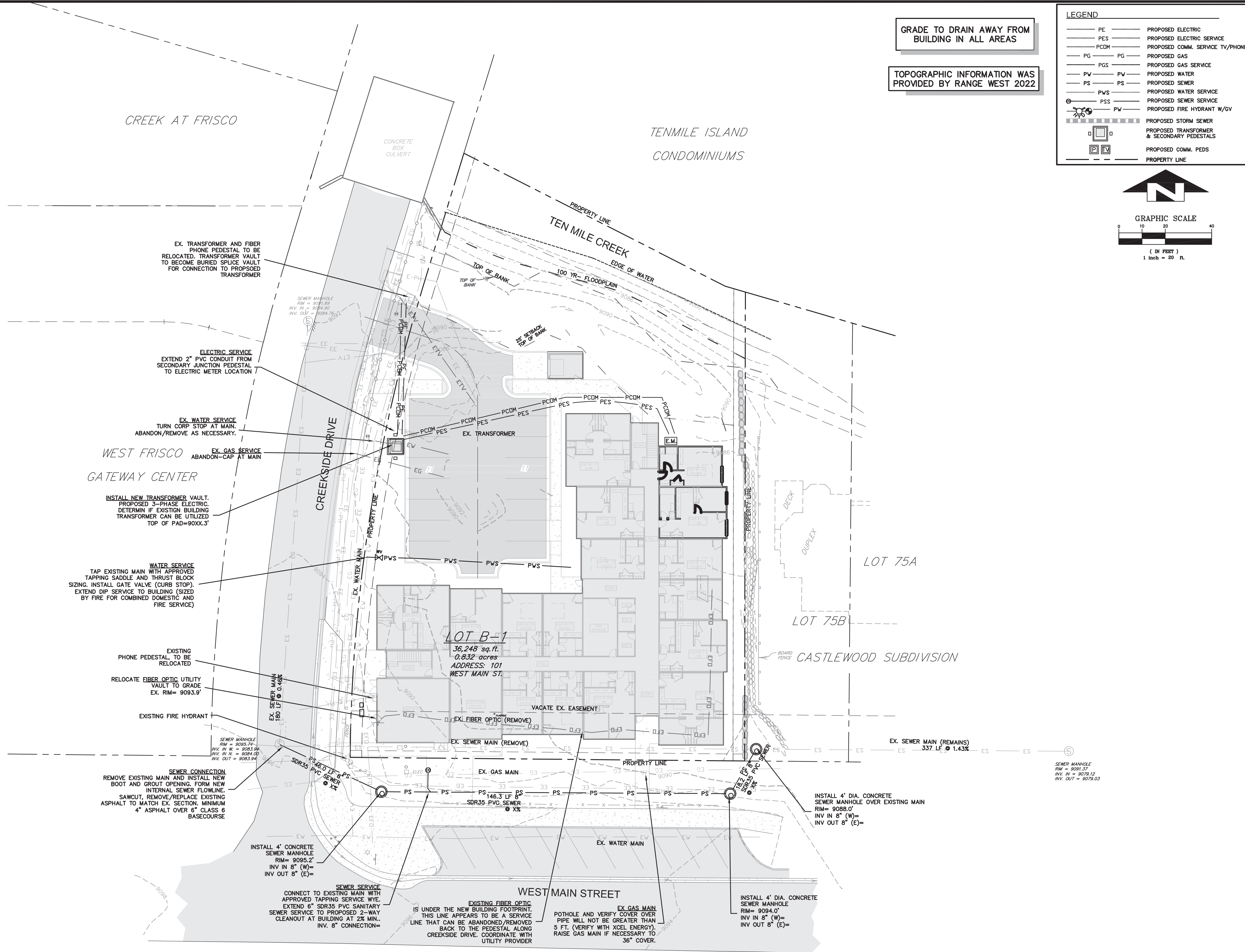
DESIGNED	DRAWN	CHECKED	JOB NO.	DATE
MCW	MCW	MCW, TSL	--	05/11/2023
NO.	DATE	REVISIONS	BY	
	05/12/2023	PRELIMINARY PLAN	MCW	

SHEET  
C2.0

ALPINE  
ENGINEERING INC.  
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EDWARDS CO 81632 / 970.626.3373  
WWW.ALPINECIVIL.COM



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GRADE TO DRAIN AWAY FROM  
BUILDING IN ALL AREAS

TOPOGRAPHIC INFORMATION WAS  
PROVIDED BY RANGE WEST 2022

**LEGEND**

PE	PROPOSED ELECTRIC
PES	PROPOSED ELECTRIC SERVICE
PCDM	PROPOSED COMM. SERVICE TV/PHONE
PG	PROPOSED GAS
PGS	PROPOSED GAS SERVICE
PW	PROPOSED WATER
PS	PROPOSED SEWER
PWS	PROPOSED WATER SERVICE
PSS	PROPOSED SEWER SERVICE
PW	PROPOSED FIRE HYDRANT W/GV
SS	PROPOSED STORM SEWER
TM	PROPOSED TRANSFORMER & SECONDARY PEDESTALS
PP	PROPOSED COMM. PEDS
---	PROPERTY LINE

**GRAPHIC SCALE**

( IN FEET )

1 inch = 20 ft.

**ALPINE ENGINEERING INC.**  
34510 HWY 6 UNIT A9 / PO BOX 97  
EDWARDS CO 81632 / 970.926.3373  
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**101 WEST MAIN STREET**  
**FRISCO, CO**  
**UTILITY PLAN**

NO.	DATE	REVISIONS	BY
	05/12/2023	PRELIMINARY PLAN	MCW

DESIGNED	MCW
DRAWN	MCW
CHECKED	MCW, TSL
JOB NO.	--
DATE	05/11/2023

**SHEET**  
**C3.0**

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DRAWN BY: EGAR

LANDSCAPE NOTES

1. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
2. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
3. ALL SEED, SOD AND SHRUB BED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION IN ACCORDANCE WITH THE SOILS REPORT OR AT A MINIMUM OF 3.5 CU.YDS./1000 SF EVENLY TILLED INTO SOIL AT A DEPTH OF 6".
4. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 3 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 3 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
5. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
6. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" PERFORATED GALVANIZED ROLL TOP EDGING WHERE SHOWN ON PLANS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, CONCRETE WALKS OR SOLID FENCES WITHIN 3" OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
7. ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SHREDDED BARK LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC UNLESS SHOWN/NOTED AS ROCK MULCH. ROCK MULCH AREAS ARE TO BE MULCHED WITH MIN. 3" DEPTH 1-1 1/2" LOCALLY SOURCED ROCK. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDDED BARK LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
8. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
9. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX.
10. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
11. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
12. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 6" PERFORATED PLASTIC BENDA BOARD EDGER.
13. PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
14. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

SITE CALCULATIONS

LOT:	36,248 SF
LOT COVERAGE AREA:	21,641 SF
BUILDING AREA:	14,086 SF

SNOW STORAGE REQUIRMENTS

TOTAL PAVED SURFACE	REQ. (50 SF STORAGE / 350 SF TOTAL PAVED SURFACE - 50% REDUCTION)	PROVIDED
7,375 SF	1,054 SF	1,135 SF

COMMUNITY AMENITY REQUIREMENTS

1. DEVELOPMENT WITH OVER 10,000 SQUARE FEET OF GROSS FLOOR AREA SHALL PROVIDE COMMUNITY SPACES,INCLUDING BUT NOT LIMITED TO, PUBLIC BENCHES, WATER FEATURES, PUBLIC KIOSK/GAZEBO, PUBLIC PATIO/SEATING AREAS, PUBLIC PLAZAS, OR PUBLIC ART.
- 1.1. MINIMUM OF 1 COMMUNITY SPACE SHALL BE PROVIDED FOR ANY DEVELOPMENT WITH BETWEEN10,000 AND 25,000 SQUARE FEET OF GROSS FLOOR AREA.
- 1.2. MINIMUM OF 3 COMMUNITY SPACES SHALL BE PROVIDED FOR ANY DEVELOPMENT WITH OVER 25,000 SQUARE FEET OF GROSS FLOOR AREA.
- 1.3. 3 COMMUNITY SPACE PROVIDED
2. ALL MIXED-USE AND NON-RESIDENTIAL DEVELOPMENT SHALL PROVIDE BICYCLE PARKING FACILITIES, IN AN APPROPRIATE LOCATION, WITH BICYCLE SPACES IN THE AMOUNT OF NOT LESS THAN 20 PERCENT OF THE TOTAL NUMBER OF PARKING SPACES REQUIRED FOR THE PROJECT, WITH A MINIMUM OF FIVE BICYCLE SPACES.
- 2.1. 8 SPACES HAVE BEEN PROVIDED, 20% OF THE PARKING REQUIRED

LANDSCAPE REQUIREMENTS

REQUIREMENTS

- 1 TREE PER 1,000 SF OF DEVELOPMENT LOT AREA (37 TREES)
- 1 SHRUB PER 1,500 SF OF DEVELOPMENT LOT AREA (25 SHRUBS)
- MINIMUM SPECIES DIVERSITY: 33% OF ANY ONE TREE PER 20-39 TREES

MAXIMUM LAWN AREA: 1,333 SF (10% OF UNDEVELOPED AREA OF THE SITE)

BREAK DOWN	REQ.	EXISTING	PROVIDED	TOTAL
TREES	37	23	14	37
DECIDUOUS		4	10	14
2" CAL (REDUCED)	50%	4	4	8
1.5" CAL (REDUCED)	50%	0	3	3
MULTI-STEM			3	3
EVERGREEN		19	4	23
10 HT.	25%	19	0	19
8' HT.	25%	0	2	2
6' HT.	50%	0	2	2
SHRUBS	25	0	25	25
DECIDUOUS	N/A	0	24	24
EVERGREEN	N/A	0	1	1
SHRUBS IN ROW	16	0	16	16
DECIDUOUS	N/A	0	12	12
EVERGREEN	N/A	0	4	4

- \* EXISTING TREES HAVE NOT BEEN SURVEYED.
- \* SHRUBS IN RIGHT OF WAY SEPARATE FROM LOT TOTAL.

SUBSTITUTIONS AND AMENDMENTS

1. FOR EVERY 1,000 SQUARE FEET OF PROJECT LOT AREA OR FRACTION THEREOF, A MINIMUM OF ONE TREE MUST BE PLANTED ON THE SITE. ONE SHRUB SHALL BE REQUIRED FOR EVERY 1,500 SQUARE FEET OF PROJECT LOT AREA OR FRACTION THEREOF.
- 1.1. 3,000 SF OF PUBLIC PLAZA PROVIDED. A MAXIMUM OF 9 TREES (25% OF REQUIREMENT) MAY BE SUBSTITUTED FOR THE PROVIDED PLAZA SPACE.
2. FOR PROPERTIES FRONTING MAIN STREET OR ALONG SUMMIT BOULEVARD: UP TO 50 PERCENT OF THE LANDSCAPING REQUIRED BY SECTIONS 180-6.14.3.B, 180-6.14.3.C, OR 180-6.14.3.D MAY BE PROVIDED IN THE FORM OF STREET FURNITURE, PLANTER BOXES, OR OTHER FORMS OF LANDSCAPING. TO BE SUBSTITUTED FOR LANDSCAPING THAT IS OTHERWISE REQUIRED; PLANTER BOXES SHALL HAVE A MINIMUM PLANTABLE AREA OF 16 SQUARE FEET. EACH BENCH OR EACH 16 SQUARE FEET OF PLANTABLE PLANTER BOX AREA OR OTHER NON-VEGETATIVE LANDSCAPING MAY BE SUBSTITUTED FOR ONE REQUIRED TREE.
3. EXISTING HEALTHY TREES (INCLUDING LODGE POLE PINE) MAY BE SUBSTITUTED FOR UP TO 50 PERCENT OF THE TREE LANDSCAPING REQUIRED BY THIS ARTICLE, ON A TREE-FOR-TREE BASIS, IN CASES WHERE THE EXISTING TREES MEET OR EXCEED THE STANDARDS FOR REQUIRED VEGETATION AND MINIMUM PLANT SIZES.
- 3.1. 23 EXISTING TREES ON SITE ARE BEING COUNTED TOWARDS LANDSCAPE REQUIREMENTS.
4. ADDITIONAL LANDSCAPING, NOT TO EXCEED 20 PERCENT OF THE LANDSCAPING OTHERWISE REQUIRED MAY BE REQUIRED IN AREAS INCLUDING BUT NOT LIMITED TO:
- 4.1. AT THE EDGES (PERIMETER) OF A PARKING LOT AND BETWEEN PARKING LOTS.
- 4.2. BETWEEN BUILDING DEVELOPMENT AND RECREATIONAL TRAILS OR OPEN SPACE.
- 4.3. BETWEEN MULTI-FAMILY OR COMMERCIAL DEVELOPMENT AND A ROAD OR OTHER PUBLIC SPACES.
- 4.4. BETWEEN COMMERCIAL AND RESIDENTIAL AREAS.
- 4.5. ON SLOPES OF OVER 15 PERCENT.
- 4.6. SITE DESIGN INCLUDES 8 TREES (20%) BETWEEN THE PROPOSED DEVELOPMENT AND THE ADJACENT RESIDENTIAL USE. PROJECT EXCEEDS MINIMUM REQUIREMENTS WITHOUT TAKING ADVANTAGE OF ALL AVAILABLE LANDSCAPE SUBSTITUTION ALLOWANCES.
5. PLANT MATERIAL QUANTITIES MAY BE REDUCED BY UP TO 20% FROM THE REQUIREMENT IN SECTION 180-6.14.3.
6. SPECIES MIX MAY BE INCREASED TO A 50% MAXIMUM FOR EACH SPECIES, AND MINIMUM TREE CALIPER SIZE MAY BE REDUCED TO 50% OF THE CALIPER SIZE REQUIREMENT IN SECTION 180-6.14.

SHEET LIST

- L-001 LANDSCAPE NOTES
- L-002 LANDSCAPE SCHEDULE
- L-101 LANDSCAPE PLAN

NORRIS  
DESIGN

PEOPLE + PLACEMAKING

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FRISCO, CO 80443  
P 970.368.7068

NORRIS-DESIGN.COM

101 WEST MAIN

101 WEST MAIN  
FRISCO, COLORADO  
SKETCH PLAN

OWNER:  
NHP FOUNDATION

122 EAST 42ND STREET  
SUITE 4900  
NEW YORK, NY 10168

NOT FOR  
CONSTRUCTION

DATE:

01/09/23 SKTCH PLN

05/04/23 SKTCH PLN

06/26/23 SKTCH PLN

11/03/23 SKTCH PLN

DRAFT

SHEET TITLE:

LANDSCAPE  
NOTES

L-001



CHECKED BY:  
DRAWN BY:

ARMIT  
EGAR

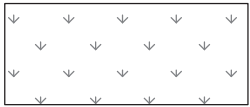
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	FIELD6
	PO AC	3	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	1.5" CAL	MULTI-STEM
	PO TE	4	POPULUS TREMULOIDES	QUAKING ASPEN	B & B	2" CAL	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	FIELD6
	PI PU	2	PICEA PUNGENS	COLORADO SPRUCE	B & B	8' HT.	
	PI AR	2	PINUS ARISTATA	BRISTLECONE PINE	B & B	6' HT.	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	FIELD6
	MA SS	3	MALUS X 'SPRING SNOW'	SPRING SNOW CRAB APPLE	B & B	1.5" CAL	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
	AM AL	4	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	CONT.	#5	
	PH MO	12	PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	CONT.	#5	
	PR CH	7	PRUNUS X VIRGINIANA 'P002'	SUCKER PUNCH CANADA CHOKECHERRY	CONT.	#5	
	RO WO	6	ROSA WOODSII	MOUNTAIN ROSE	CONT.	#5	
	SY MI	7	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	CONT.	#5	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
	CO CO	5	COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	CONT.	#5	
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	
	CA KA	33	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	CONT.	#1	
	SP HE	30	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	CONT.	#1	

SHORT DRY GRASS SEED MIXTURE

COMMON NAME	% OF TOTAL	LBS. PER 1,000 S.F.
HARD FESCUE, VNS	30%	0.6 LBS.
CREEPING RED FESCUE, VNS	30%	0.6 LBS.
SHEEP FESCUE, VNS	25%	0.5 LBS.
CANADA BLUEGRASS, RUBENS	10%	0.2 LBS.
CANBY BLUGRASS, CANBAR	5%	0.1 LBS.
TOTAL	100%	2.0 LBS.

- SLOPES OVER 3:1 SHALL BE HAYED AND TACKIFIED OR NETTED
- SPREAD SEED AT A RATE OF 2 LBS PER 1,000 SF



SYMBOL	DESCRIPTION	PRODUCT NAME	MANUFACTURER	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
<div>M-01</div>	STANDARD CONCRETE	READY MIXED CONCRETE	N/A	STANDARD GREY, BROOM FINISH	SEE PLANS		INSTALL PER TOWN'S SPECIFICATIONS. ALL CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 4,500 LBS AT 28 DAYS.
<div>M-02</div>	LANDSCAPE MULCH	WASHINGTON CEDAR MULCH	PIONEER (GOLDEN)	NATURAL	N/A		REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE.
<div>M-03</div>	ROCK MULCH	DECORATIVE ROCK	PIONEER (GOLDEN)	CLEAR CREEK GRANITE	1 1/2"	3/L-501	REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE.
<div>M-04</div>	CRUSHER FINES	FINES	PIONEER (GOLDEN)	MOUNTAIN GRANITE BREEZE	1/4" MINUS	3-4/L-501	REFER TO DETAILS AND SPECIFICATIONS FOR INSTALLATION AND MAINTENANCE. APPLY SPECIFIED BINDER PER MANUFACTURER'S SPECIFICATIONS. AGGREGATE PATH TO BE INSTALLED AND COMPACTED TO MEET ADA REQUIREMENTS.
<div>M-05</div>	BOULDERS	RECLAIMED BOULDERS FROM SITE	RECLAIMED	NATURAL	2'X2'X2' UP TO 5'X4'X2'	7/L-502	CONTRACTOR TO COLLECT AND STORE BOULDERS FOUND ON SITE. LANDSCAPE ARCHITECT SHALL TAG BOULDERS TO BE REUSED AND FIELD VERIFY INSTALLATION LOCATIONS.
<div>M-302</div>	NATIVE SEED						
<div>M-401</div>	PLASTIC EDGER	BENDA BOARD; 100059387	EPIC PLASTICS	TEAK	1" X 6" X 20'	1/L-502	INSTALL PER MANUFACTURER SPECIFICATIONS WITH MATCHING COLOR STEEL J STAKES.
<div>M-502</div>	SEATING SLAB	QUARRY BLOCKS & THICK SLABS	SILOAM STONE, INC.	NATURAL	12"-48" X 18"-8" X 3'-12'	8/L-502	CONTRACTOR TO COORDINATE LOCATION OF BOULDERS WITH LANDSCAPE ARCHITECT ON SITE. SEAT SLABS SHALL BE PLACED TO PROVIDE A LEVEL SEATING SIDE.

AMENITY SCHEDULE

SYMBOL	DESCRIPTION	PRODUCT NAME	MANUFACTURER	MODEL #	COLOR / FINISH	SIZE / DIMENSIONS	DETAIL	NOTES
<div>S-01</div>	BENCH	INFINITY BENCH	ANOVA	PINF24L6R	CEDAR SLAT, TEXTURED PEWTER FRAME	19"H X 24"W X 72"L		INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATE INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE. ENSURE THAT INSTALLATION OVER STRUCTURE DOES NOT INTERFERE WITH BUILDING WATERPROOFING.
<div>S-02</div>	DOG WASTE STATION	DOG WASTE STATION	MUTT MITT	1005	GREEN RUSTPROOF ALUMINUM, SINGLES	72"H X 13"W X 15"D		INSTALL PER MANUFACTURER SPECIFICIATIONS.
<div>S-03</div>	BIKE RACK	BIKE RACK	DUMOR	292-S2	ARGENTO	6"W X 41"D X 32"H		INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATE INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE. ENSURE THAT INSTALLATION OVER STRUCTURE DOES NOT INTERFERE WITH BUILDING WATERPROOFING.
<div>S-04</div>	LARGE SQUARE PLANTER	WILSHIRE COLLECTION	TOURNESOL	WR-4800	PUDDLE	48" X 48" X 36"	4/L-501	INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATION INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE.
<div>S-05</div>	MEDIUM RECTANGLE PLANTER	WILSHIRE COLLECTION	TOURNESOL	WR-482424	PUDDLE	48" X 24" X 24"	4/L-501	INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATION INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE.
<div>S-06</div>	SMALL RECTANGLE PLANTER	WILSHIRE COLLECTION	TOURNESOL	WR-481012	PUDDLE	48" X 10" X 12"	4/L-501	INSTALL PER MANUFACTURER RECOMMENDATIONS. COORDINATION INSTALLATION WITH ARCHITECT FOR INSTALLATION OVER STRUCTURE.



PLANT SCHEDULE

DECIDUOUS TREES	COMMON NAME
PO AC	QUAKING ASPEN
PO TE	QUAKING ASPEN
EVERGREEN TREES	COMMON NAME
PI PU	COLORADO SPRUCE
PI AR	BRISTLECONE PINE
ORNAMENTAL TREES	COMMON NAME
MA SS	SPRING SNOW CRAB APPLE
DECIDUOUS SHRUBS	COMMON NAME
AM AL	SASKATOON SERVICEBERRY
PH MO	MOUNTAIN NINEBARK
PR CH	SUCKER PUNCH CANADA CHOKECHERRY
RO WO	MOUNTAIN ROSE
SY MI	MISS KIM LILAC
EVERGREEN SHRUBS	COMMON NAME
CO CO	CORAL BEAUTY COTONEASTER
ORNAMENTAL GRASSES	COMMON NAME
CA KA	KARL FOERSTER FEATHER REED GRASS
SP HE	PRAIRIE DROPSEED

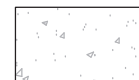







NOTES

- RESEED ALL DISTURBANCE WITH SPECIFIED SEED MIX UNLESS OTHERWISE DESIGNATED.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- EROSION CONTROL BLANKETS SHALL BE USED ON DISTURBED SLOPES STEEPER THAN 3:1.
- PLANT SYMBOLS ARE SHOWN AT APPROXIMATELY MATURE SIZE.
- ALL PLANT SYMBOLS SHOWN IN SNOW STORAGE AREAS SHALL BE PLANTS TOLERANT OF SNOW LOAD.
- ALL PLANTINGS SHALL BE PLANTED TO AVOID CONFLICTS WITH SIGHT TRIANGLES AND EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- FINAL PLANT LOCATION SHALL BE FIELD VERIFIED.
- PRESERVE AND PROTECT EXISTING TREES AS POSSIBLE.







IRRIGATION:

- ALL INSTALLED LANDSCAPE SHALL BE IRRIGATED.
- ALL TURF, NATIVE REVEGETATION, PERENNIAL AND ANNUAL PLANTINGS SHALL BE SPRAY IRRIGATED.
- ALL TREES AND SHRUB AREAS SHALL BE DRIP IRRIGATED.
- ALL MAINLINES SHALL HAVE CONDUIT UNDER CONCRETE SURFACES.
- IRRIGATION SHALL COMPLY WITH TOWN STANDARDS.







LANDSCAPE MATERIAL SCHEDULE






SYMBOL	DESCRIPTION
	M-01 STANDARD CONCRETE
	M-02 LANDSCAPE MULCH
	M-03 ROCK MULCH
	M-04 CRUSHER FINES
SYMBOL	DESCRIPTION
	M-05 BOULDERS
SYMBOL	DESCRIPTION
	M-302 NATIVE SEED
	M-401 PLASTIC EDGER
	M-502 SEATING SLAB

AMENITY SCHEDULE

SYMBOL	DESCRIPTION
	S-01 BENCH
	S-02 DOG WASTE STATION
	S-03 BIKE RACK
	S-04 LARGE SQUARE PLANTER
	S-05 MEDIUM RECTANGLE PLANTER
	S-06 SMALL RECTANGLE PLANTER

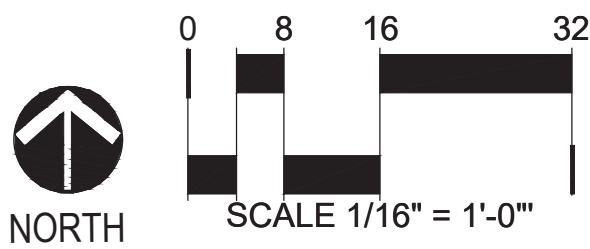
KEY NOTES

SYMBOL	DESCRIPTION
	N-01 LIMIT OF WORK
	N-02 5' BUILDING SETBACK
	N-03 PROPERTY LINE
	N-04 EXISTING AND PROPOSED UTILITIES, REFER TO CIVIL
	N-05 COMMUNITY SPACE
SYMBOL	DESCRIPTION
	N-06 SNOW STORAGE PAVED SURFACES: 7,375 SF REQUIRED SNOW STORAGE: 1,054 SF PROVIDED SNOW STORAGE: 1,135 SF

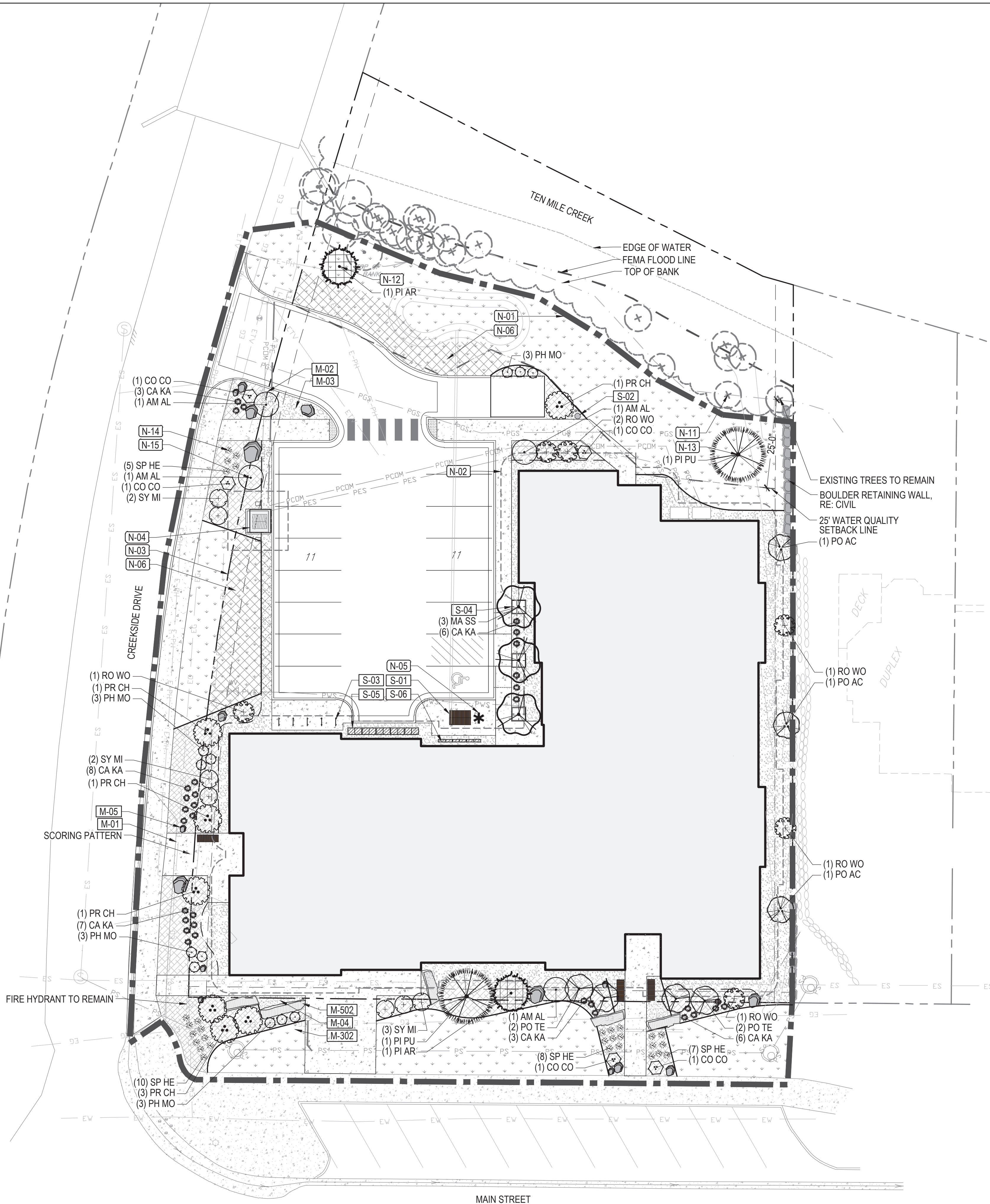
	N-11 TREE PROTECTION
	N-12 TREE PLANTING
	N-13 TREE PLANTING ON A SLOPE
	N-14 ORNAMENTAL GRASS AND PERENNIAL PLANTING
	N-15 SHRUB PLANTING

KEY NOTES

CODE	DESCRIPTION	DETAIL
N-01	LIMIT OF WORK	
N-02	5' BUILDING SETBACK	
N-03	PROPERTY LINE	
N-04	EXISTING AND PROPOSED UTILITIES, REFER TO CIVIL	
N-05	COMMUNITY SPACE	
N-06	SNOW STORAGE	
N-11	TREE PROTECTION	1/L-501
N-12	TREE PLANTING	2/L-501
N-13	TREE PLANTING ON A SLOPE	3/L-501
N-14	ORNAMENTAL GRASS AND PERENNIAL PLANTING	4/L-501
N-15	SHRUB PLANTING	5/L-501



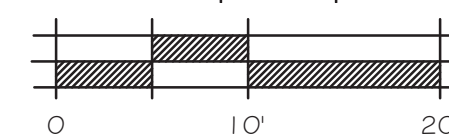
NORTH







1  
A2.1  
FIRST LEVEL FLOOR PLAN  
SCALE: 1"=10.0'



101 WEST MAIN STREET  
LOT D-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

TITLE

FIRST LEVEL FLOOR PLAN

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ISSUE:	DATE:
DRC	7 DEC 2022
SKETCH	9 JAN 2023
SKETCH	3 MAY 2023
UPDATE	8 AUG 2023
DRC	26 OCT 2023
SKETCH	3 NOV 2023

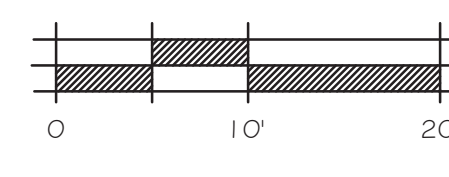
PROJECT #: 22105

A2.1





1 SECOND LEVEL FLOOR PLAN  
A2.2  
SCALE: 1"=10.0'

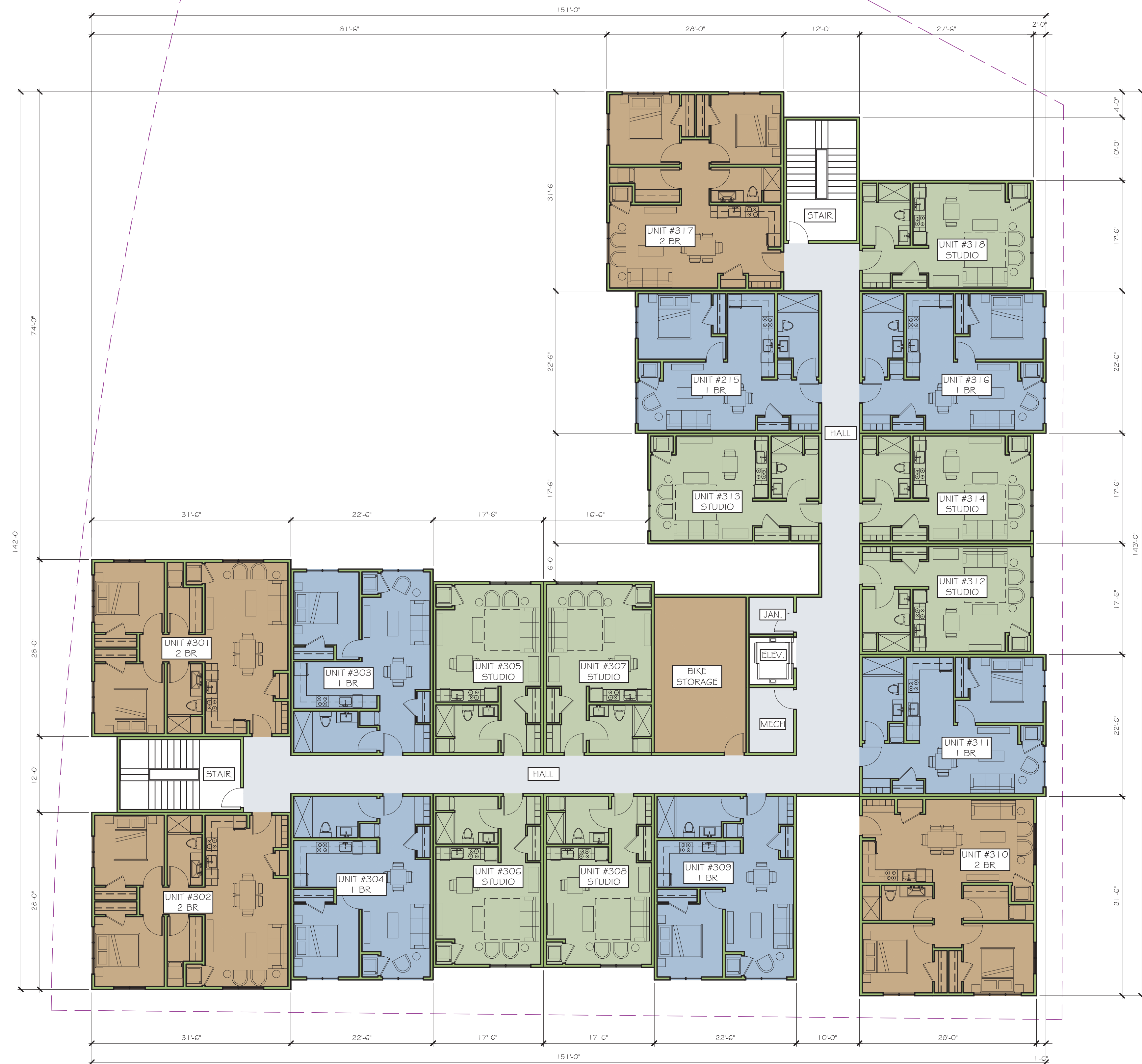


101 WEST MAIN STREET  
LOT D-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO  
TITLE: SECOND LEVEL FLOOR PLAN

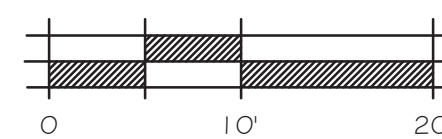
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SKETCH	3 NOV 2023
PROJECT #:	22105





1 THIRD LEVEL FLOOR PLAN  
A2.3 SCALE: 1"=10.0'



101 WEST MAIN STREET  
LOT D-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

THIRD LEVEL FLOOR PLAN

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SKETCH	3 MAY 2023
UPDATE	8 AUG 2023
DRC	26 OCT 2023
SKETCH	3 NOV 2023

PROJECT #: 22105

## A2.3



101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

ROOF PLAN

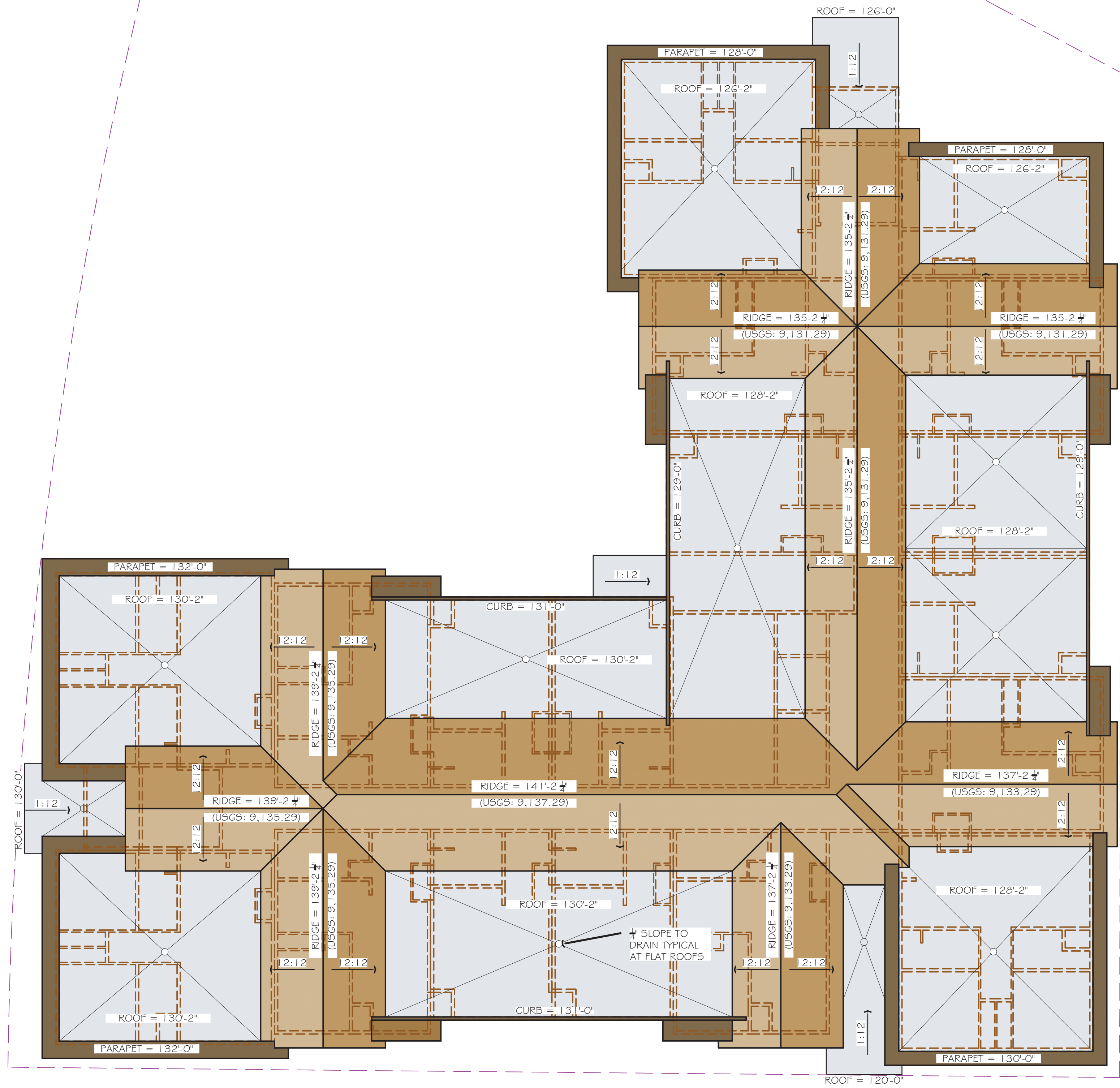
TITLE

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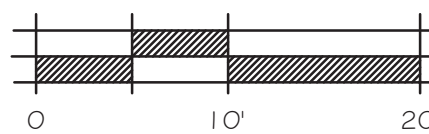
ISSUE:	DATE:
DRC	7 DEC 2022
SKETCH	9 JAN 2023
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SKETCH	3 NOV 2023

PROJECT #: 22105

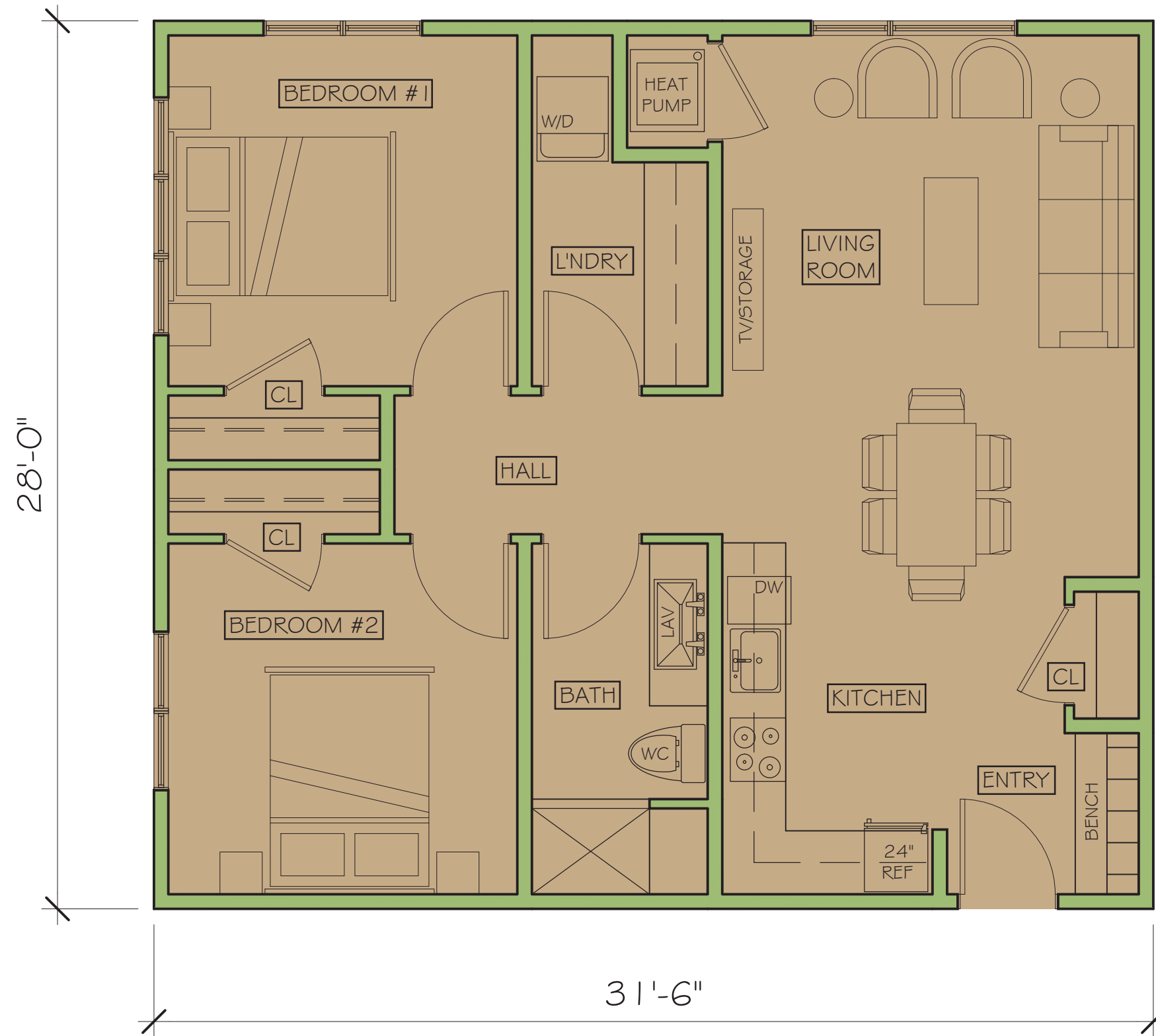
A2.4



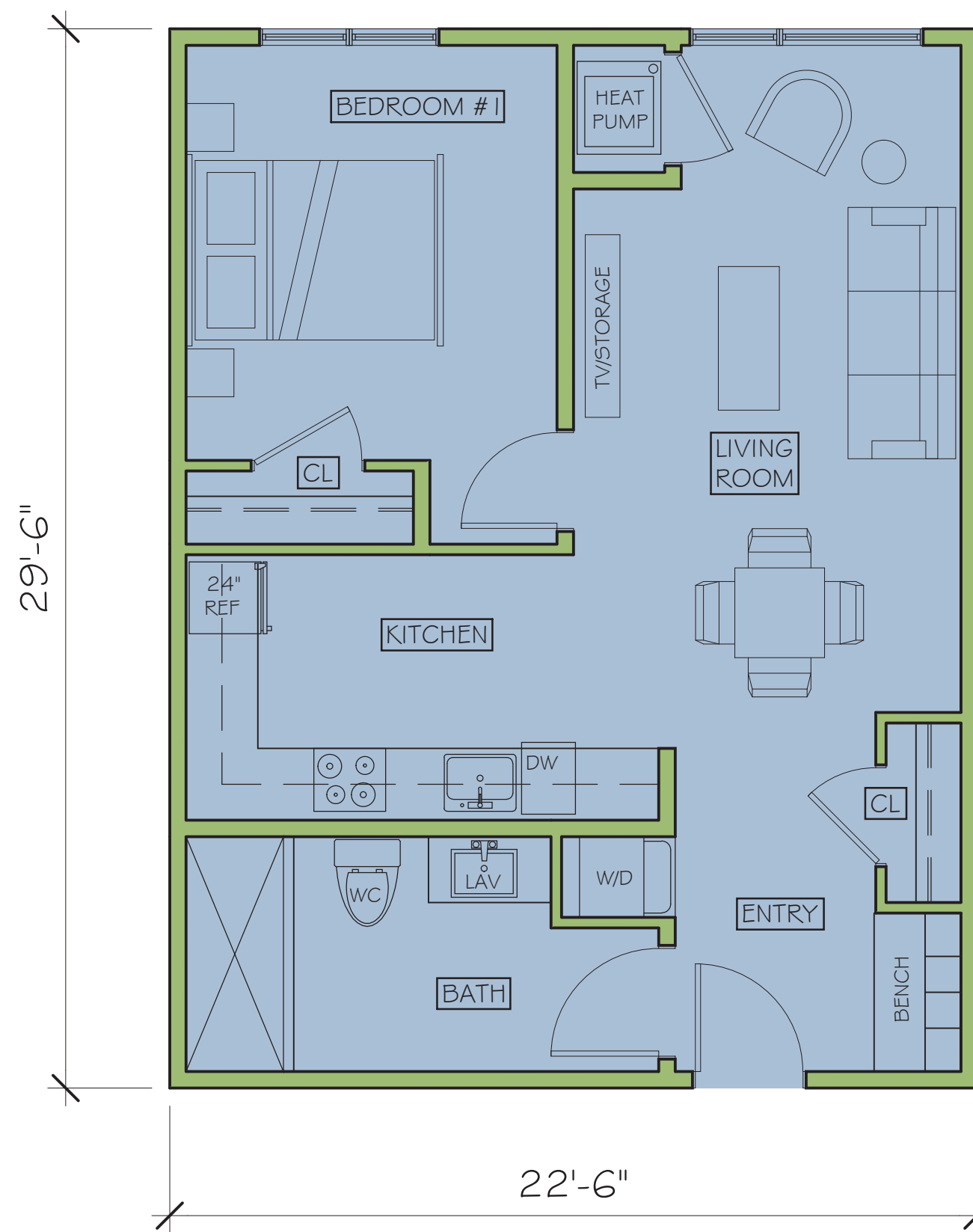
1 ROOF PLAN  
A2.4  
SCALE: 1"=10.0'



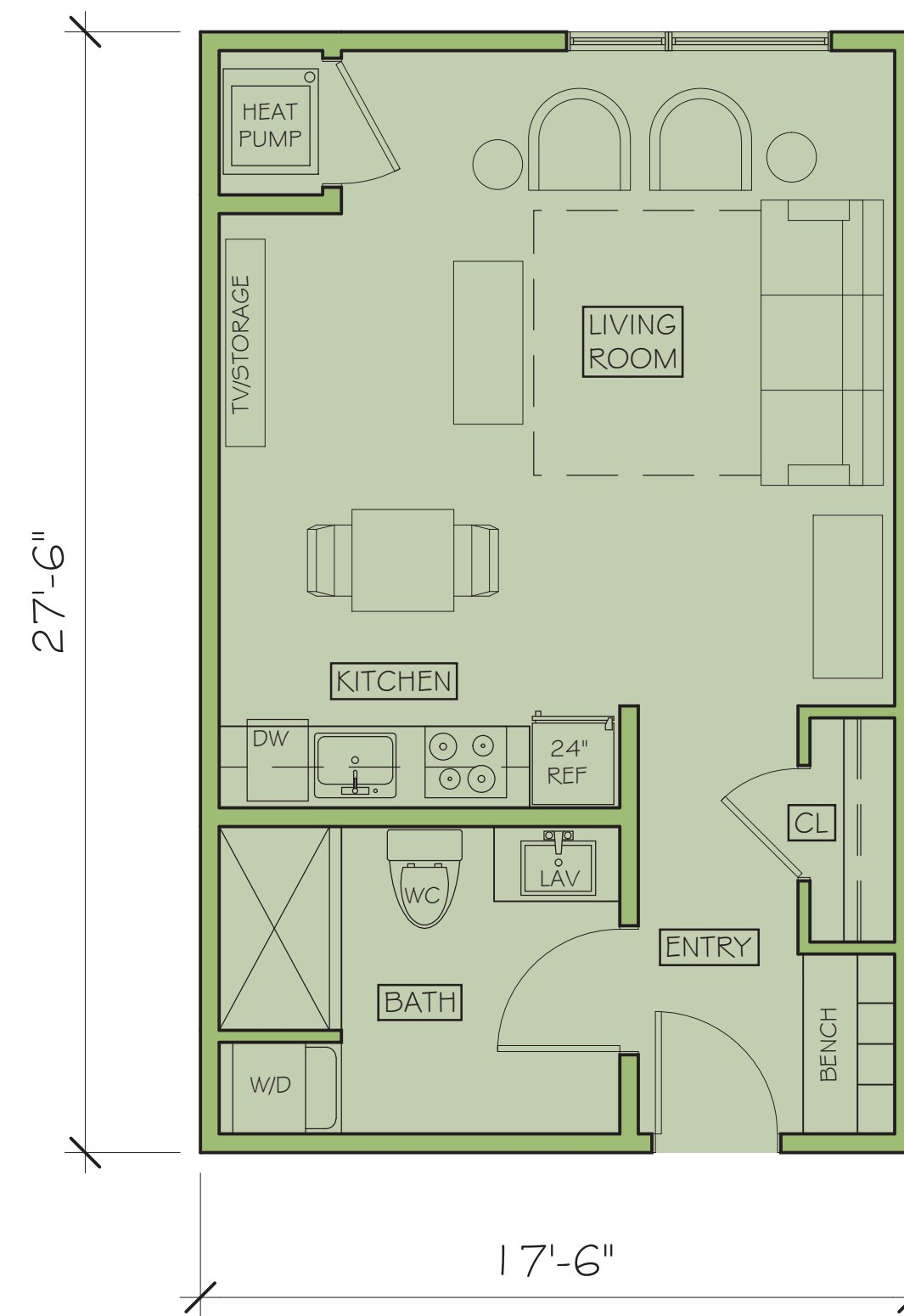




3 2- BEDROOM UNIT PLAN (882 SF)  
A2.5 SCALE: 1/4" = 1'-0"



2 1- BEDROOM UNIT PLAN (664 SF)  
A2.5 SCALE: 1/4" = 1'-0"



1 STUDIO UNIT PLAN (481 SF)  
A2.5 SCALE: 1/4" = 1'-0"

101 WEST MAIN STREET  
LOT D-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

TYPICAL UNIT PLANS

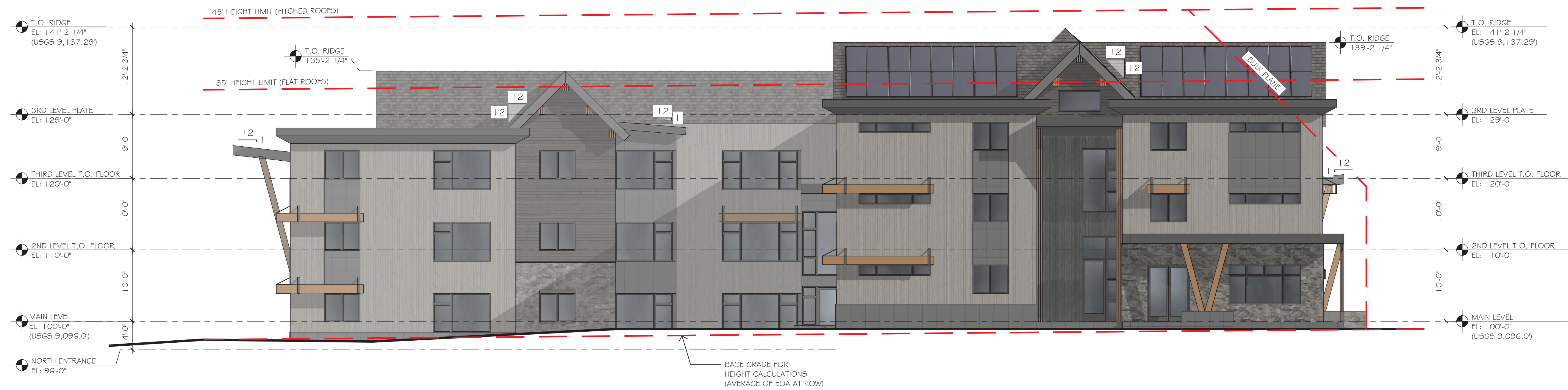
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SKETCH	3 NOV 2023
PROJECT #: 22105	





1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO TOWN FILING #2  
TOWN OF FRISCO, COLORADO  
TITLE  
EXTERIOR ELEVATIONS

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PROJECT# 2161

A3.1





1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"

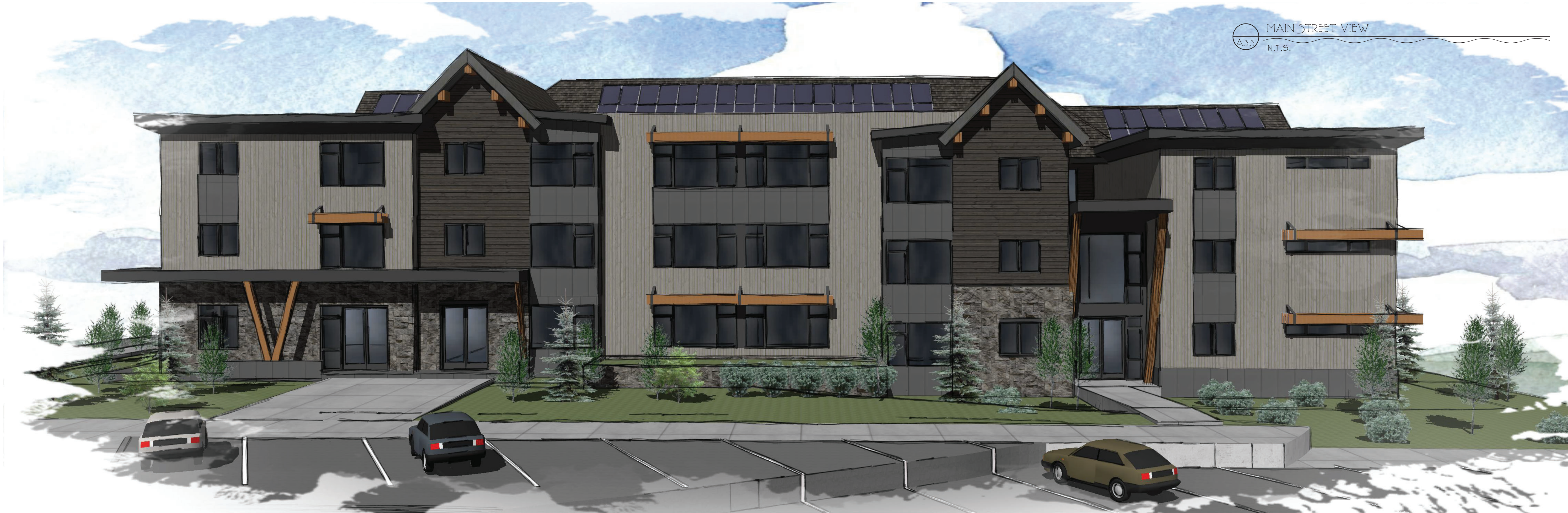
101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO TOWN FILING #2  
TOWN OF FRISCO, COLORADO  
TITLE  
EXTERIOR ELEVATIONS

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PROJECT# 2161





1 MAIN STREET VIEW  
A3.3  
N.T.S.



3 SOUTHERN PERSPECTIVE (FROM MAIN STREET)  
A3.3  
N.T.S.



2 SOUTHEAST PERSPECTIVE (FROM MAIN STREET)  
A3.3  
N.T.S.



5 NORTHEAST PERSPECTIVE (FROM TENMILE CREEK)  
A3.3  
N.T.S.



4 NORTHWEST PERSPECTIVE (FROM CREEKSIDE DRIVE)  
A3.3  
N.T.S.

101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO  
TITLE  
PERSPECTIVE RENDERINGS

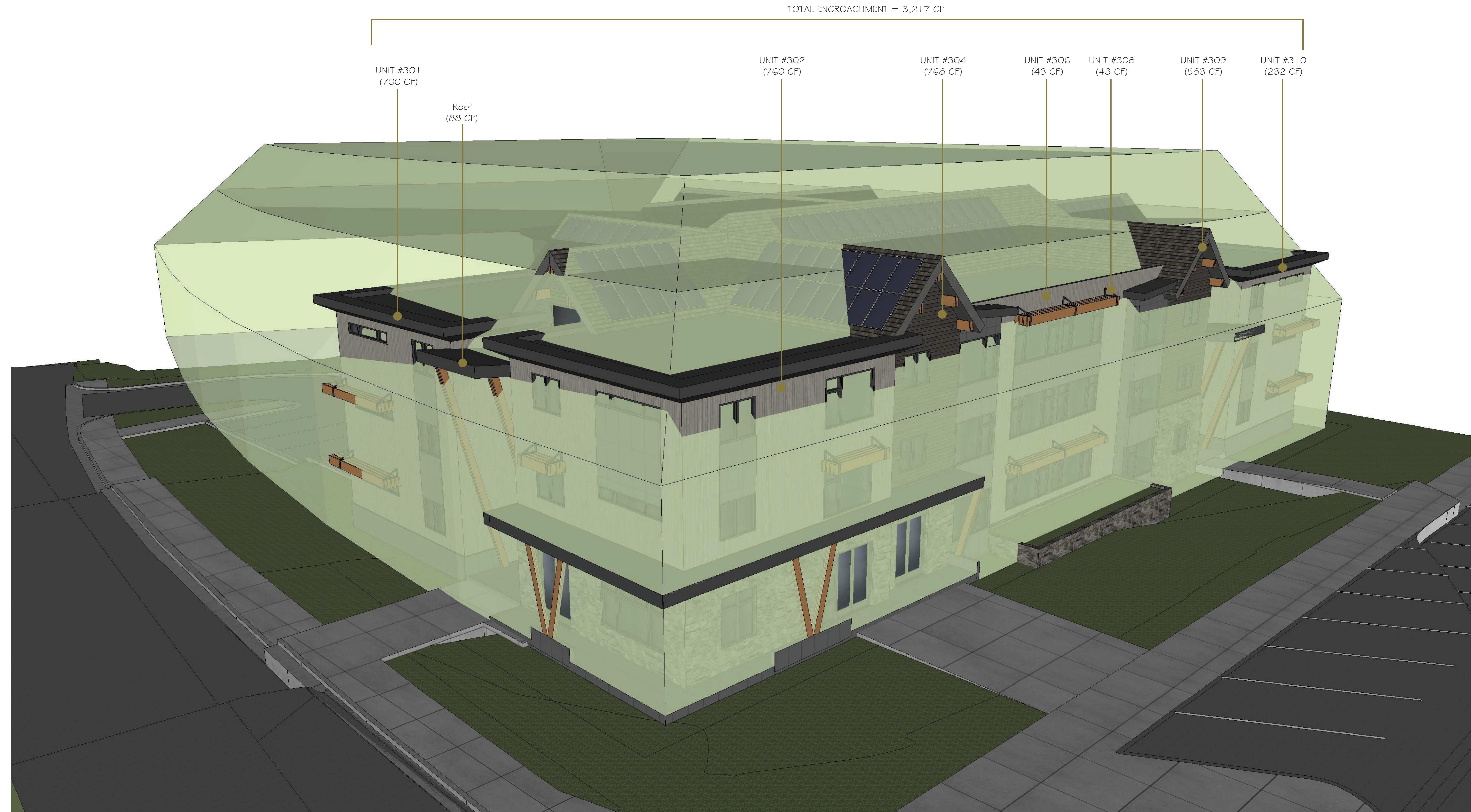
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A3.3





101 WEST MAIN STREET  
LOT B-1, AMENDED WEST FRISCO 70, FILING #2  
TOWN OF FRISCO, COLORADO

TITLE

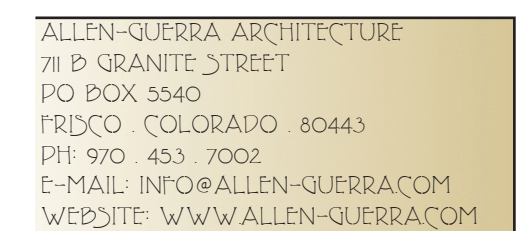
BULK PLANE ENCROACHMENTS

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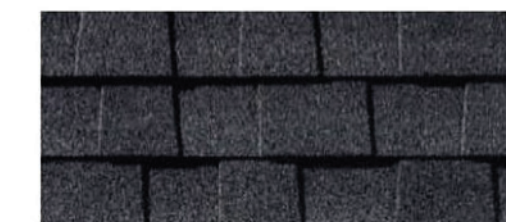


ITEM  
ASPHA  
ROOFI

COLOR

DESCRIPTION

-----GAF TIMBERLINE HD (LIFETIME):  
'CHARCOAL'



A horizontal line from the left enters a rectangular box labeled "M2".

STANDING SEAM  
METAL ROOFING


-----BRIDGER STEEL TRU SNAP:  
16" W PANELS, 1.5" RIB  
KYNAR 500 'MATTE BLACK'



A horizontal line segment connects to a square box containing the text "M3".

FASCIA

-----DIAMOND KOTE:  
FASCIA  
'GRAPHITE'



M4

SOFFI

-----DIAMOND KOTE:  
VENTED SOFFIT  
'CLAY'



## HORIZONTAL SIDING

-----DIAMOND KOTE:  
HORIZONTAL SIDING  
'COFFEE'



## VERTICAL SIDING

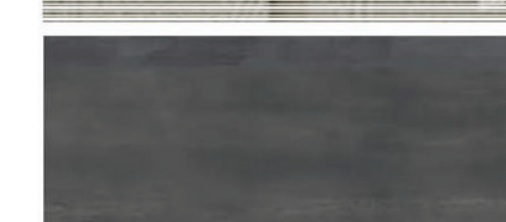
-----DIAMOND KOTE:  
VERTICAL SIDING  
'TERRA BRONZE'



M7

## ACCENT SIDING

-----CUSTOM METAL PANELS:  
BLACKENED STEEL W/  
MATTE PERMALAC FINISH



DOORS &amp; WINDOWS

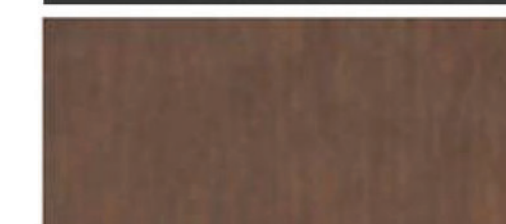
-----ALUMINUM CLAD WOOD:  
JELD-WEN 'BLACK'



M9

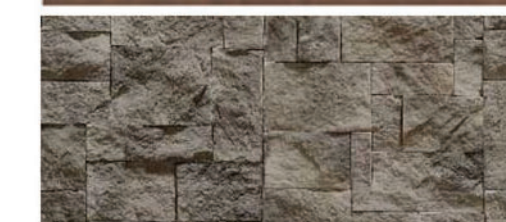
EXPOSED TIMBERS

-----STAIN WITH  
SUPERDECK  
2318 "TEAK"



## STONE VENEER

-----GALLEGOS CORPORATION  
"TIMBER RIDGE"  
DRY STACKED



### EXTERIOR MATERIALS LEGEND

5 N.T.S.

[illegible]

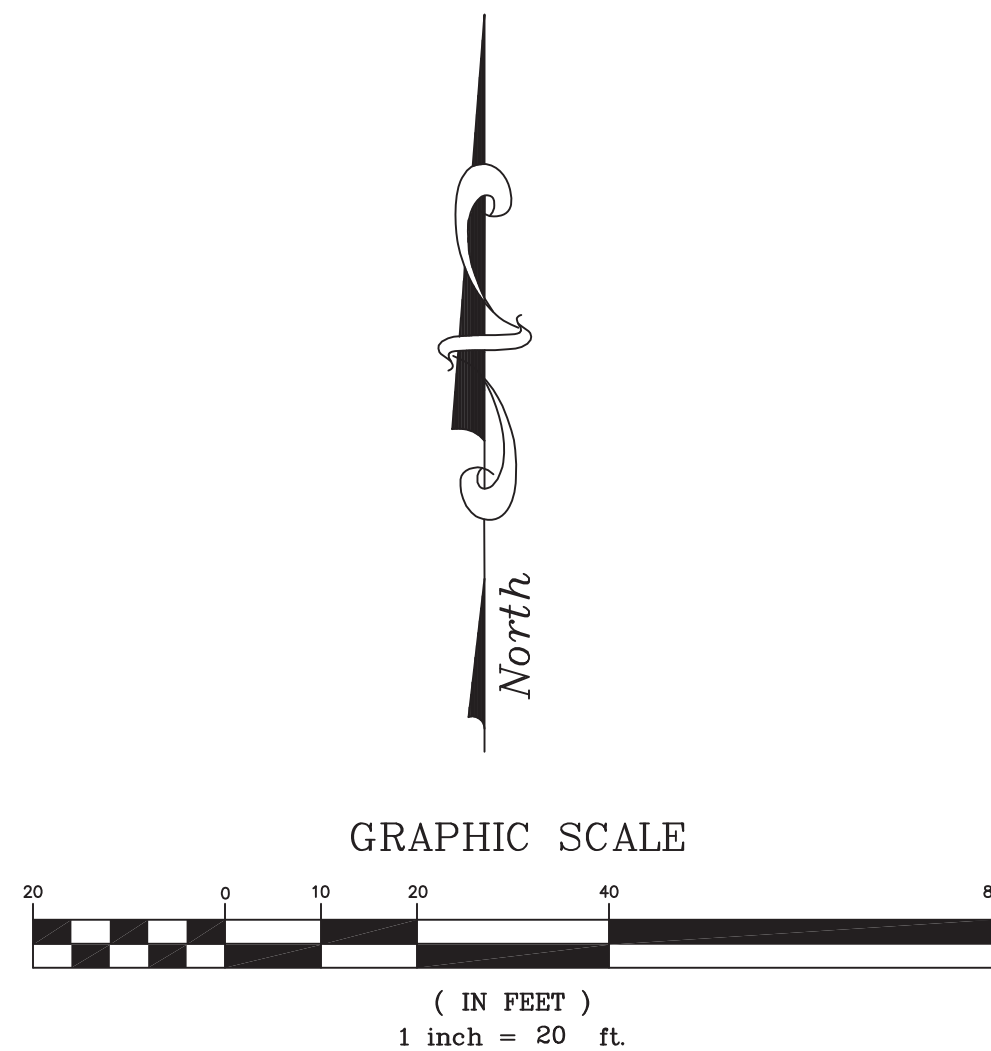
PROJECT# 2161

# A3.5



AN IMPROVEMENT SURVEY PLAT AND TOPOGRAPHIC MAP OF  
LOT B-1, AMENDED WEST FRISCO 70, FILING NO. 2

ACCORDING TO THE PLAT RECORDED AT REC. NO. 140796  
TOWN OF FRISCO, SUMMIT COUNTY, COLORADO



ELEVATIONS BASED ON U.S.G.S. DATUM (NAVD 88)

DATE OF FIELD SURVEY: 03/22/07

DATE OF FIELD SURVEY UPDATE: 04/25/13

DATE OF FIELD SURVEY UPDATE: 12/20/2022

CONTOUR INTERVAL=2 FEET

LEGEND

- FOUND REBAR & PLASTIC CAP (PLS 26292)
- FOUND No. 4 REBAR
- WATER VALVE
- ⦿ FIRE HYDRANT
- UTILITY PEDESTAL
- ☆ LIGHT POLE
- ⊙ SEWER MANHOLE
- ⊗ PINE TREE WITH TRUNK DIAMETER
- ⊗ SPRUCE TREE WITH TRUNK DIAMETER
- ⊗ ASPEN TREE WITH TRUNK DIAMETER
- ⊞ TRANSFORMER
- x — RAIL FENCE
- SS — SS — SS — SANITARY SEWER
- GAS — GAS — GAS — GAS LINE
- WATER — WATER — WATER — WATER LINE
- ELEC — ELEC — ELEC — ELECTRIC LINE
- PH — PH — PH — PHONE LINE
- FO — FO — FO — FIBER OPTIC LINE

SURVEYOR'S CERTIFICATE

I, ROBERT R. JOHNS, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO,  
DO HEREBY CERTIFY THAT THIS PLAT AND SURVEY WERE PREPARED BY ME AND UNDER  
MY SUPERVISION AND THAT BOTH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

SIGNATURE: ROBERT R. JOHNS  
COLORADO REGISTRATION NO. 26292



CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	710.00'	204.98'	204.27'	N 08°45'33" E	16°32'29"

NOTE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY  
WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT  
IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.