

2/2/2024 11:58:48 AM \\staisarchitects.com\stais\users\nick\Documents\TOF Info Center A&A R23\_ind\ZSLPQ.rvt



[RENDERING NOT FOR CONSTRUCTION]

# OLD TOWN HALL PARK & VISITOR INFORMATION CENTER (VIC) RENOVATIONS

300 MAIN STREET  
FRISCO . COLORADO

## PRICING

### SHEET INDEX

CS	COVER SHEET	A200	CONST ASSEMBLIES & NOTES	A601	EXTERIOR DETAILS	M0-1	MECHANICAL COVER SHEET	E0-1	ELECTRICAL COVER SHEET
		A211	EXISTING CONDITIONS & DEMOLITION PLAN			M1-1	MECHANICAL PLANS	E1-1	LIGHTING PLANS
A001	CODE DATA, NOTES, & CALCS	A221	CONSTRUCTION PLAN & NOTES	A721	FINISH PLAN	M2-1	MECHANICAL - PIPING PLAN	E1-2	LIGHTING DETAILS
				A722	FINISH PLAN NOTES	M2-2	MECAHNICAL - BOILER SCHEMATIC	E2-1	POWER PLANS
C-103	CIVIL SITE PLAN					M3-1	MECHANICAL SCHEDULES	E3-1	ELECTRICAL SCHEDULES
C-104	GRADING AND DRAINAGE PLAN	A300	DOOR & FRAME SCHED, WINDOW TYPES, NOTES	A801	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS			E3-2	ELECTRICAL DETAILS
L-101	LANDSCAPE DEMOLITION PLAN	A301	EXISTING EXTERIOR ELEVATIONS	A802	ENLARGED FLOOR PLANS & INTERIOR ELEVATIONS	P0-1	PLUMBING COVER SHEET		
L-102	LANDSCAPE PLAN	A302	EXISTING EXTERIOR ELEVATIONS			P1-1	PLUMBING DOMESTIC PIPING PLANS		
		A303	PROPOSED EXTERIOR ELEVATIONS			P1-2	PLUMBING WASTE/VENT PLAN		
S1	FOUNDATION & FRAMING PLAN	A304	PROPOSED EXTERIOR ELEVATIONS	A911	EXISTING REFLECTED CEILING PLAN	P3-1	PLUMBING SCHEDULES		
		A311	EXTERIOR PERSPECTIVES	A921	PROPOSED REFLECTED CEILING PLAN				
PROJECT TEAM									

#### OWNER/ LANDSCAPE DESIGN:

TOWN OF FRISCO  
1 EAST MAIN ST  
P.O. BOX 4100  
FRISCO, CO 80443  
970.668.2559

#### ARCHITECT/ INTERIOR DESIGNER:

STAIS ARCHITECTURE & INTERIORS  
409 E MAIN STREET SUITE 107  
P.O. BOX 4179  
FRISCO, CO 80443  
970.453.0444

#### SURVEYOR:

SCHMIDT LAND SURVEYING  
PO BOX 5761  
FRISCO, CO 80443  
970.409.9963

#### CIVIL ENGINEER:

TETRA TECH  
130 SKI HILL ROAD  
BRECKENRIDGE, CO 80424  
970.453.3420

#### STRUCTURAL ENGINEER:

G3 CONSULTING  
PO BOX 2933  
BRECKENRIDGE, CO 80424  
970.485.2073

#### MECH/ELEC ENGINEER:

BIGHORN CONSULTING ENGINEERS  
386 INDIAN ROAD  
GRAND JUNCTION, CO 81506  
970.241.8709

#### old town hall park & vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

#### ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

#### COVER SHEET

draft

CS



GENERAL NOTES

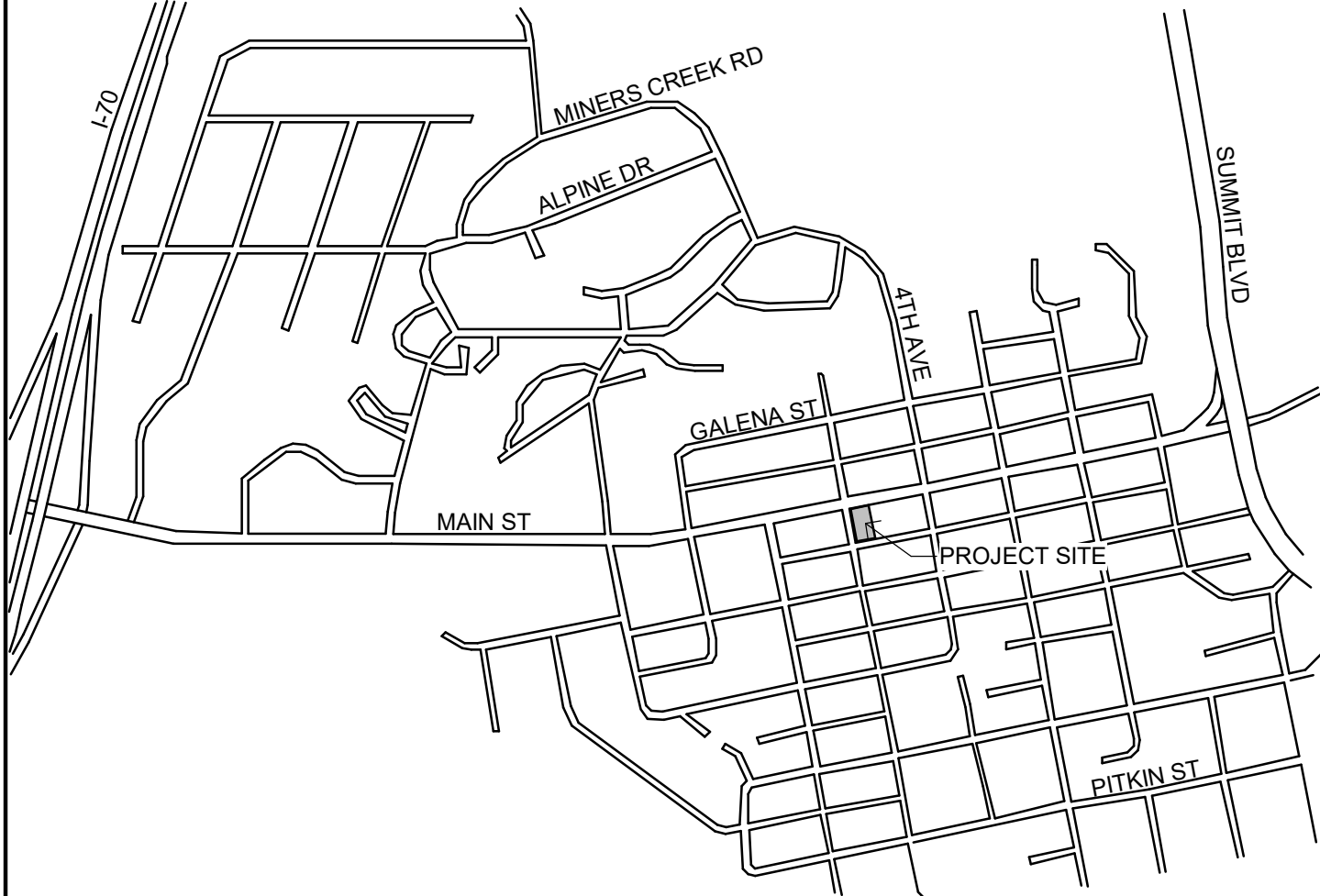
- 1) THIS PROJECT IS GOVERNED BY THE INTERNATIONAL BUILDING CODE, ASSOCIATED CODES, ACCESSIBLE CODES AND LOCAL CODE AMENDMENTS, AS ADOPTED BY THIS MUNICIPALITY. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO APPLICABLE CODES, REGULATIONS, AND RESTRICTIONS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS.
- 2) ALL ITEMS AND WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR OR HIS OR HER SUBCONTRACTORS UNLESS NOTED AS "EXISTING", "BY OWNER", OR "NOT IN CONTRACT" (N.I.C.) IN THESE DOCUMENTS.
- 3) IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE GENERAL CONTRACTOR AND HIS OR HER SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, AND THE LIKE TO PROVIDE A COMPLETE AND WORKMANLIKE JOB PER THE USUAL AND CUSTOMARY STANDARDS OF THE INDUSTRY, AND SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL MANUFACTURERS' INSTALLATION REQUIREMENTS, INSTRUCTIONS AND RECOMMENDATIONS.
- 4) THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL WORK AND SCHEDULE, PER STANDARD PRACTICES. COORDINATION OF ALL REQUIRED BLOCK-OUTS, SEQUENCING, AND THE LIKE AMONG GENERAL AND SUBCONTRACTOR TRADES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- 5) THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE JOBSITE SAFETY OF ALL PERSONNEL, WORK, MATERIALS, UTILITIES, AND ADJACENT PROPERTIES, IN ACCORDANCE WITH ACCEPTED CODES, REGULATIONS AND INDUSTRY PRACTICES. THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR THIS, AND SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM HIS OR HER RESPONSIBILITIES.
- 6) THESE DESIGN DOCUMENTS HAVE BEEN ISSUED WITH AN EXPECTATION OF CONTINUING COMMUNICATION AND COOPERATION AMONG THE OWNER, ARCHITECT, AND CONTRACTOR. BUILDING DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS OFTEN IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY REQUIRING CLARIFICATION SHALL BE REPORTED PROMPTLY TO THE ARCHITECT; FAILURE TO DO SO MAY COMPOUND MISUNDERSTANDING AND AFFECT PROJECT BUDGET, SCHEDULE AND QUALITY. SUCH A FAILURE TO COMMUNICATE SHALL RELIEVE THE ARCHITECT AND CONSULTANTS OF RESPONSIBILITY FOR CONSEQUENCES WHICH MAY ARISE.
- 7) THESE CONTRACT DOCUMENTS HAVE BEEN PREPARED USING AUTODESK REVIT® BUILDING INFORMATION MODELING® APPLICATION AND ARE BASED ON AN ASSOCIATIVE 3D MODEL OF THE PROJECT. IN THE CASE OF QUESTIONS REGARDING SPECIFIC 2D VIEWS OF 3D PROJECT MODEL, CONTACT ARCHITECT FOR CLARIFICATION. SAI MAY HAVE THE ABILITY TO GENERATE SUPPLEMENTAL VIEWS OR DRAWINGS TO HELP THE CONTRACTORS BETTER UNDERSTAND THE DESIGN INTENT.
- 8) SUSTAINABLE DESIGN CONCEPTS ARE CENTRAL TO THE SUCCESSFUL DESIGN, CONSTRUCTION AND OPERATION OF THIS PROJECT. AND THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE EXPECTED TO UNDERSTAND AND IMPLEMENT THESE CONCEPTS TO THE FULLEST EXTENT POSSIBLE. REFER TO CONSTRUCTION ASSEMBLY TYPES, NOTES AND DETAILS. CONTACT ARCHITECT WITH CONSTRUCTIVE INPUT OR IF MORE INFORMATION IS NEEDED TO UNDERSTAND AND IMPLEMENT THESE CONCEPTS MORE FULLY.
- 9) FOR EACH RFI OR PHONE CALL TO THE OFFICE OF THE ARCHITECT OR CONSULTANTS AFTER 4:00 P.M. ON FRIDAYS (OR THE DAY PRIOR TO A HOLIDAY), THE GENERAL CONTRACTOR SHALL BE HELD LIABLE FOR A SIX PACK OF GOOD, COLD BEER, PAYABLE DIRECTLY TO THE OFFICE OF THE ARCHITECT OR CONSULTANT, THAT SAME DAY, IN PERSON.
- 10) ENERGY EFFICIENCY: GENERAL CONTRACTOR SHALL PROVIDE ALTERNATE PRICES FOR OWNER REVIEW FOR THE FOLLOWING ITEMS: (A) SPRAYED ON FOAM INSULATION (B) ENERGY EFFICIENT GLAZING (D) ENERGY RECOVERY VENTILATION SYSTEM FOR ENTIRE BUILDING (NOT INCLUDING GARAGES).
- 11) RESOURCE EFFICIENCY: GENERAL CONTRACTOR SHALL INCORPORATE THE FOLLOWING EFFICIENT BUILDING PRACTICES INTO THE SCOPE OF THE WORK: (A) ON-SITE RECYCLING PROGRAM FOR CONSTRUCTION WASTE (B) LOW WATER USAGE APPLIANCES & EQUIPMENT (C) ADVANCED FRAMING TECHNIQUES (PER US DEPT OF ENERGY, www.energy.gov) (D) ALL APPLIANCES TO BE "ENERGY STAR" RATED (E) ALL LUMBER PRODUCTS SHALL BE SUSTAINABLY HARVESTED.
- 12) THE OWNER HAS BEEN ADVISED THAT ROOF AND DECK SURFACES MUST BE PERIODICALLY CLEARED OF SNOW AND ICE BUILDUP IN ORDER TO ENSURE MINIMAL PROBLEMS DURING HEAVY SNOW WINTERS.
- 13) SUBSTITUTION OF "OR EQUAL" PRODUCTS WILL BE ACCEPTABLE ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR ARCHITECT. IF THE CONTRACTOR DESIRES ANY CHANGES WHICH MAY SIGNIFICANTLY IMPACT THE PROJECT BUDGET OR SCHEDULE, HE SHALL SUBMIT A WRITTEN CHANGE ORDER REQUEST PRIOR TO COMMENCEMENT OF SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER SHALL INDICATE THE CONTRACTOR'S ACKNOWLEDGEMENT OF NO INCREASE IN CONTRACT SUM OR COMPLETION DATE DUE TO SAID CHANGE. CHANGES FROM THE CONTRACT DOCUMENTS MADE WITHOUT THE ARCHITECT'S APPROVAL ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF ALL RESPONSIBILITY FOR CONSEQUENCES ARISING FROM SUCH CHANGES.
- 14) DOCUMENTATION OF EXISTING CONDITIONS IS BASED ON INFORMATION SUPPLIED BY THE OWNER. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS (INCLUDING, BUT NOT LIMITED TO, PROPERTY BOUNDARIES, BUILDING SETBACKS, PROJECT BENCHMARK, AND SITE SLOPES), AND UTILITY LOCATIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT FOR INTERPRETATION OR CLARIFICATION OF ANY CONFLICTS OR DISCREPANCIES PER NOTE #6 ABOVE.
- 15) CONTACT ARCHITECT FOR COPY OF SOILS REPORT. UPON COMPLETION OF EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF THE FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM THE SOILS ENGINEER.
- 16) WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TAKEN FROM FACE OF WOOD FRAMING, FACE OF CONCRETE WALLS, AND CENTERLINE OF STEEL FRAMING MEMBERS UNLESS OTHERWISE NOTED. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD SUBFLOOR, TOP OF WALL PLATES, AND TOP OF BEAMS UNLESS OTHERWISE NOTED. DOOR OPENINGS TO BE 4" FROM ADJACENT WALL @ WOOD FRAMING; 8" FROM ADJACENT WALL @ CONCRETE; OR CENTERED IN WALL AS INDICATED ON FLOOR PLANS.
- 17) MAJOR SITE DESIGN DIMENSIONS ARE NOTED IN THE DOCUMENTS. LAYOUT OF HARDSCAPE & LANDSCAPE AND THE LIKE SHALL BE STAKED IN THE FIELD BASED ON SITE PLAN INFORMATION. ARCHITECT AND/OR CONSULTANTS SHALL REVIEW AND APPROVE ALL LAYOUTS IN THE FIELD PRIOR TO COMMENCEMENT OF SAID WORK.
- 18) WHEN NECESSARY TO BORE STRUCTURAL MEMBERS FOR ELECTRICAL/MECHANICAL RUNS, SUCH HOLES SHALL BE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS, AND STRUCTURAL DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ARCHITECT/ENGINEER'S APPROVAL PRIOR TO ANY CUTTING, NOTCHING OR DRILLING WHICH MAY AFFECT THE INTEGRITY OF THE STRUCTURE.
- 19) NOT ALL LIGHT FIXTURES ARE SHOWN ON EXTERIOR ELEVATIONS. REFER TO ELECTRICAL AND ARCHITECTURAL DWGS FOR MOUNTING HEIGHTS AND SETTING BLOCK DETAILS.
- 20) ALL INTERIOR WALLS SHALL EXTEND FROM FLOOR ELEVATION TO UNDERSIDE OF STRUCTURE ABOVE, UNLESS OTHERWISE NOTED.
- 21) INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, EQUIPMENT, AND ACCESSORIES WHEN MOUNTED ON STUD WALLS.
- 22) BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ALL OTHER PURPOSES.
- 23) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL NOTED ITEMS PER NOTE #24 BELOW.

- 24) DEFINITIONS OF WORK AS NOTED ON DRAWINGS:
- A. NEW: INDICATES ITEMS TO BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY AMONG VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION; CONSULT ARCHITECT FOR CLARIFICATIONS. NEW WALLS ARE SHOWN AS SHADED ON FLOOR PLANS.
- B. EXISTING: INDICATES COMPONENTS OF EXISTING STRUCTURE. NOT ALL ITEMS ARE CALLED OUT AS SUCH IF IT IS OBVIOUS THAT THEY ARE EXISTING. CONSULT ARCHITECT FOR CLARIFICATION.
- C. PATCH: TO RESTORE TO CONDITION SUITABLE FOR NEW WORK AND NEW FINISHES WITH APPROPRIATE MATERIALS. MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES UNLESS OTHERWISE NOTED.
- D. REPAIR: TO RESTORE TO PROPER OPERATING CONDITION AND APPEARANCE.
- E. RELOCATE: TO CAREFULLY DISMANTLE, STORE, AND LATER REASSEMBLE EXISTING COMPONENTS AT DIRECTED LOCATION. ITEMS TO BE RELOCATED ARE ASSUMED TO BE OF SUFFICIENT QUALITY TO PERMIT WORTHWHILE RELOCATION. REPORT ANY QUESTIONABLE CONDITIONS TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- F. REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY AND DISPOSE OF.
- G. REPLACE: TO REMOVE AND REINSTALL A NEW COMPONENT AS INDICATED AND BY METHODS SPECIFIED.
- H. SALVAGE: TO CAREFULLY DISMANTLE IN SUCH A MANNER THAT WILL ALLOW SUBSEQUENT REASSEMBLY BY OWNER AT LATER DATE. STORE COMPONENTS AT OWNER'S DIRECTION.
- 25) THIS SET HAS BEEN ISSUED AT THE REQUEST OF THE OWNER IN ORDER TO EXPEDITE THE COMMENCEMENT OF CONSTRUCTION. CERTAIN PORTIONS OF THESE CONTRACT DOCUMENTS ARE SUBJECT TO FURTHER REVISION PRIOR TO CONSTRUCTION; THEREFORE, ANY PRICING OR CONTRACTUAL AGREEMENTS BASED ON THIS SET MAY ALSO BE SUBJECT TO FURTHER REVISION. ACCEPTANCE AND USE OF THIS SET BY THE OWNER AND CONTRACTOR CONSTITUTES ACCEPTANCE OF THIS REALITY ON THE PART OF BOTH PARTIES.

BUILDING CODE STUDY

- 1) This project is governed by the 2018 International Building Code, associated codes, accessibility codes and local code amendments as adopted by this municipality. All work performed under this contract shall conform to applicable codes, regulations, and restrictions, whether included in the text of this code study or not. The general contractor and subcontractors shall be responsible for obtaining required permits, licenses, inspections and approvals.
- 2) Occupancy (table 1004.5):  
A. Offices: B (304.1); 1,944 sf / 150 sf per occupant = 12 occupants.  
B. Total: 12 occupants.
- 3) Type of Construction: existing - no change; new - Type VB.  
A. Allowable Building Height (table 504.3): existing - no change; new - 40 feet.  
B. Allowable Number of Stories (table 504.4): 2.  
C. Allowable Building Area (table 506.2): 9,000 sf.
- 4) Number of Required Exits (per table 1006.2.1, based on occupant load):  
A. Occupancy: 1 required (12 occupants).
- 5) Exit Access Travel Distance (per table 1017.2):  
A. B Occupancy: 300' maximum
- 6) Means of Egress Illumination: shall be provided in accordance with Chapter 10 and all other applicable regulations.
- 7) Exit Signage: shall be provided in accordance with Chapter 10 and all other applicable regulations.
- 8) Accessibility: shall be provided in accordance with Chapter 11 and all other applicable regulations.

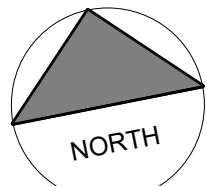
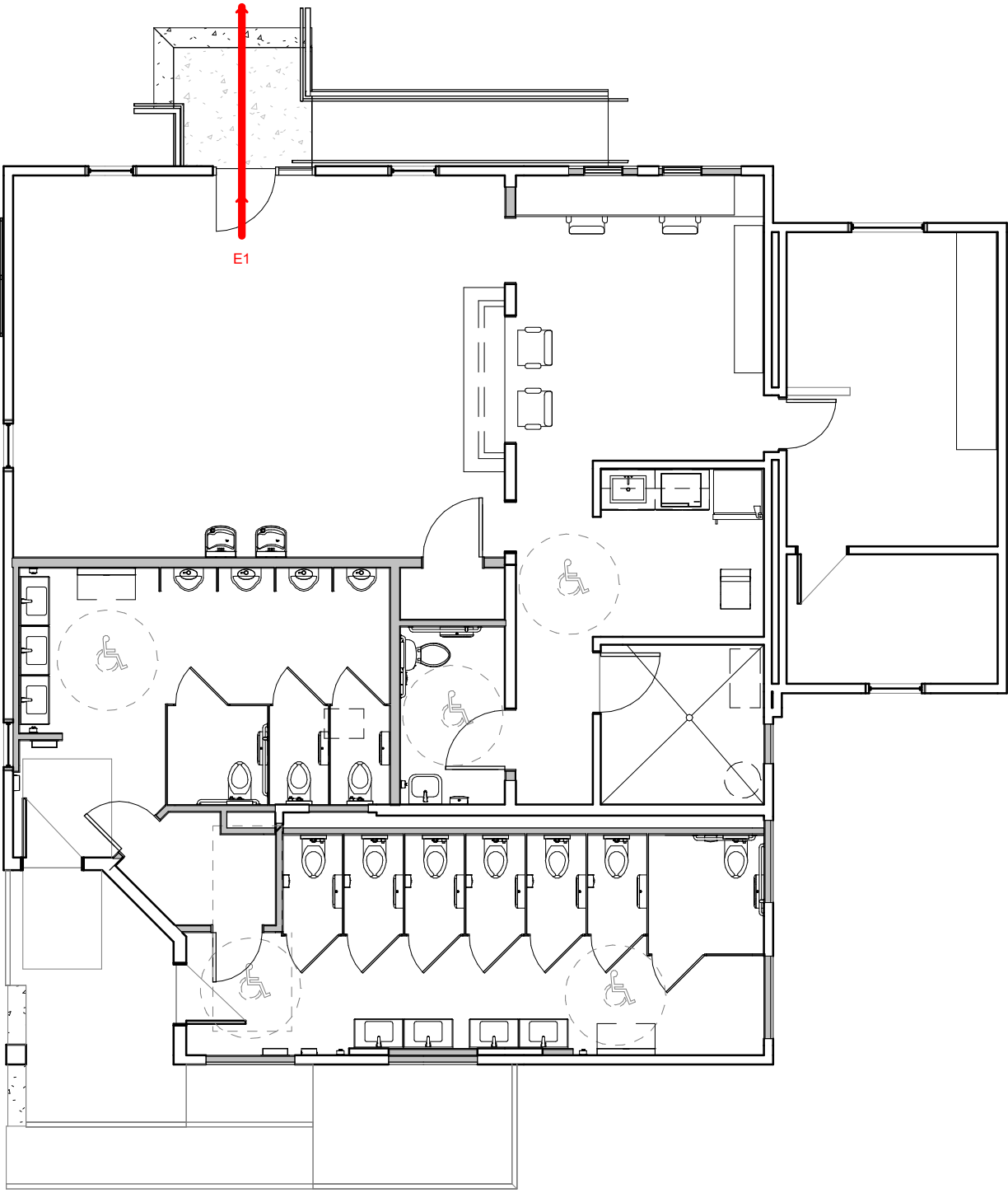
VICINITY MAP



AREA CALCULATIONS

BUILDING CALCS:	EXISTING (SF)		
	FIN	UNFIN	TOT
1. MAIN FLOOR	1,944	---	1,944

NOTES: 1. BUILDING AREAS CALC'D IN ACCORDANCE W/ BUILDING CODE REQMENTS.  
2. UNCONDITIONED AREA INCLUDES GARAGE, MECHANICAL & STORAGE (WITH OVER 5'-0" HEADROOM).  
3. STAIRS & LANDINGS NOT COUNTED WITH UPPERMOST FLOOR SQUARE FOOTAGES.



old town hall park & vic renovations

300 east main street  
frisco . colorado

PROJECT # 1219

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

CODE DATA, NOTES, & CALCS

draft

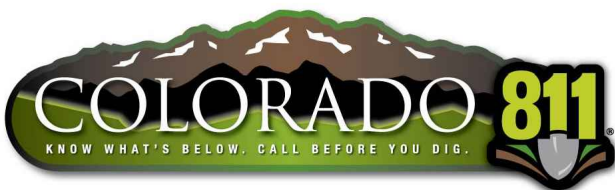
A001



GENERAL NOTES

1. WATER SHALL BE USED AS A DUST PALLIATIVE WHERE REQUIRED. LOCATIONS SHALL BE AS ORDERED BY ENGINEER OR OWNER. CONTRACTOR SHALL PROVIDE WATER FOR DUST CONTROL. DUST CONTROL IS INCIDENTAL TO THE CONTRACT.
2. THE TYPE OF COMPACTION USED FOR THIS PROJECT WILL BE AASHTO T99 (ASTM 698). ALL COMPACTION TO COMPLY WITH GEOTECHNICAL ENGINEER RECOMMENDATIONS.
3. THE TYPES, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF WORK PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO COORDINATE SCHEDULES FOR UTILITY WORK.
4. PROPERTY AND RIGHT OF WAY BOUNDARIES ARE APPROXIMATE BASED ON PLATTED INFORMATION PROVIDED BY PROJECT SURVEYOR. ALL PROPERTY AND RIGHT OF WAY MARKERS ARE TO BE SURVEYED PRIOR TO DISTURBANCE OF ANY PROPERTY CORNER. CONTRACTOR MUST NOTIFY ENGINEER FOR VERIFICATION OF MONUMENT.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLANS THAT ARE IN CONFLICT WITH THE IMPROVEMENTS.
6. ALL TEMPORARY ROADWAY, DRIVEWAY AND SIDEWALK PATCHING IS CONSIDERED INCIDENTAL TO THE CONTRACT. ALL TEMPORARY PATCHES MUST BE MAINTAINED BY THE CONTRACTOR.
7. WORKING HOURS SHALL BE PER THE TOWN OF FRISCO NOISE ORDINANCE 127-53.
8. ALL TRAFFIC CONTROL DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION WITH CURRENT SUPPLEMENTS.
9. CONSTRUCTION STAKING SHALL BE PROVIDED BY THE CONTRACTOR.
10. ALL ASPHALT AND CONCRETE PAVEMENT REMOVED FOR CONSTRUCTION SHALL BE SAWCUT.
11. ANY ADDITIONAL PAVEMENT REQUIRED TO BE REMOVED FOR CONSTRUCTION OVER THE AREAS SHOWN ON THE PLANS IS CONSIDERED INCIDENTAL TO THE CONTRACT.
12. PULL STRINGS TO BE PROVIDED IN ALL CONDUIT INSTALLED.
13. OWNER SHALL HAVE A BENCHMARK AND PROJECT CONTROL POINTS SET AT BEGINNING OF PROJECT TO USE FOR CONSTRUCTION STAKING BY CONTRACTOR.
14. ALL UTILITY STUBS SHALL BE MARKED WITH A 4" X 4" WOOD POST EXTENDING 4" ABOVE PROPOSED GRADE. THE POST SHALL BE PAINTED GREEN FOR SEWER, BLUE FOR WATER SERVICES AND WHITE FOR ANY OTHER UTILITIES. CONTRACTOR SHALL MAINTAIN AS BUILTS TO ALL UTILITY STUB LOCATIONS AND CONDUIT ENDS WITH TIES TO EXISTING REFERENCE POINTS AND SURVEY LOCATION BASED ON SURVEYOR'S COORDINATE SYSTEM.
15. CONTRACTOR SHALL PROVIDE ALL PERMITS REQUIRED FOR CONSTRUCTION EXCEPT FOR THE PERMITS PROVIDED BY OWNER, AS IDENTIFIED IN CONTRACT DOCUMENTS.
16. ALL TRAFFIC CONTROL WORK SHALL BE SUPERVISED BY A CERTIFIED TRAFFIC CONTROL OFFICER.
17. ALL BASE MAPPING INFORMATION WAS PROVIDED BY SUMMIT LAND SURVEYING, INC., DATED OCTOBER 2021 AND UPDATE JANUARY 2023.
18. THE TOWN OF FRISCO PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
19. SEE SPECIFICATIONS FOR GEOTECHNICAL REQUIREMENTS. GEOTECHNICAL ENGINEER TO CONFIRM REQUIREMENTS OF SUBGRADE FOR SUPPORT OF THE PAVEMENT SECTION DURING CONSTRUCTION.
20. ALL WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE CURRENT COLORADO SUPPLEMENTS, AND THE APPROVED PLANS AND SPECIFICATIONS. A METHOD OF HANDLING TRAFFIC (MHT) SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL NO LATER THAN 2 WEEKS PRIOR TO IMPLEMENTATION. NO LANE CLOSURE ON ANY TOWN STREET WILL BE ALLOWED PRIOR TO THE ENGINEER'S WRITTEN APPROVAL OF THE MHT.
21. FOR ALL NEW PAVEMENT, ALL STOP BARS, AND CROSS WALKS, WORDS AND SYMBOLS SHALL BE PREFORMED THERMO-PLASTIC MARKINGS. THESE MARKINGS SHALL BE INLAID INTO THE SURFACE COURSE OF ASPHALT DURING ASPHALT PLACEMENT.
22. PUBLIC TRAFFIC SHALL BE PROVIDED PASSAGE TO ACCESSSES, FLAGGERS SHALL BE USED AS NECESSARY. WHEN FLAGGERS ARE USED, W20-2a SIGNS SHALL BE PLACED 200' IN ADVANCE OF THE STATION.
23. ALL TRAFFIC CONTROL SHALL HAVE RETROREFLECTIVE SHEETING PER 1996 REVISION OF SECTION 614 & 630 OF THE ROAD AND BRIDGE SPECIFICATIONS. SEE CDOT M&S STANDARDS, S-630-1, SHEETS 8, 9, & 10
24. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION/ RIGHT OF WAY PERMIT FROM THE TOWN OF FRISCO PRIOR TO COMMENCING WITH ANY WORK WITHIN THE TOWN STREET RIGHT OF WAYS. ANY LANE OR ROAD CLOSURES PROPOSED BY THE CONTRACTOR MUST BE APPROVED BY THE TOWN OF FRISCO.
25. TETRA TECH IS NOT RESPONSIBLE FOR SAFETY, IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS THERE TO.
26. TETRA TECH EXERCISES NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS, OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERVISION OF THE SAME.
27. TECHNICAL SPECIFICATIONS FOR CIVIL INFRASTRUCTURE IMPROVEMENTS ARE PROVIDED UNDER SEPARATE COVER AND ARE INTEGRAL TO THE DRAWINGS AND THE WORK FOR THIS PROJECT.
28. PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE OR FILL, THE EXPOSED SUBGRADE SOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12", CONDITIONED TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT AND PROPERLY COMPACTED. THIS REQUIREMENT APPLIES TO ALL NEW PAVEMENT AND GRAVEL SURFACED AREAS TO BE CONSTRUCTED FOR THIS PROJECT.

TETRA TECH ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



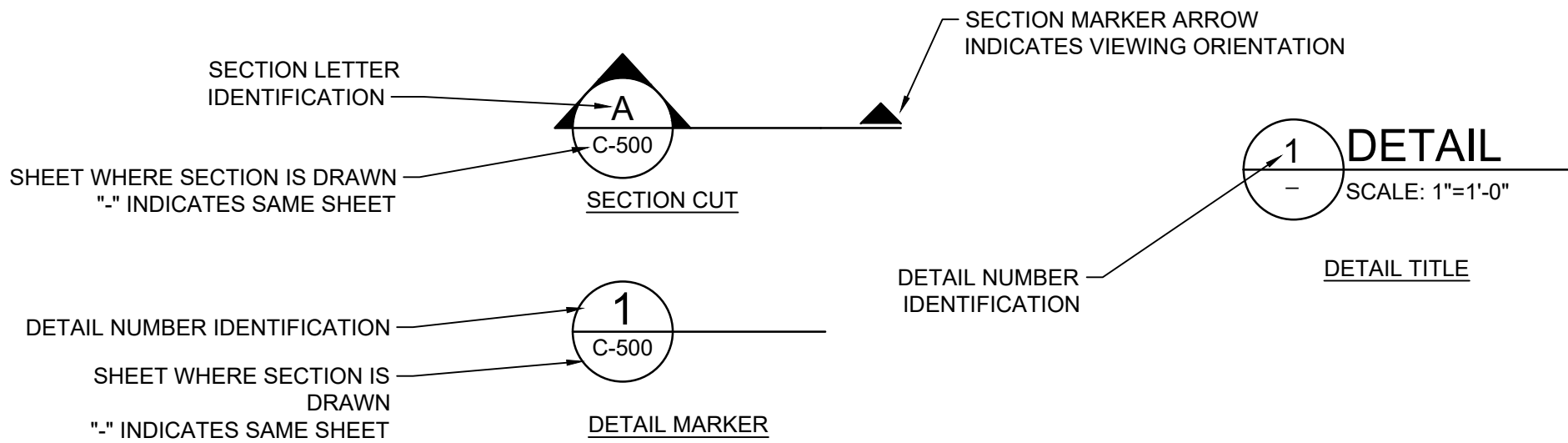
Utility Notification  
Center of Colorado  
Administrative Office 303-232-1991  
16361 Table Mountain Parkway  
Golden, CO 80215

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE  
FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

GRADING AND EROSION CONTROL NOTES

1. ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED GEOTECHNICAL ENGINEER. ALL TEST RESULTS SHALL BE MADE AVAILABLE TO THE ENGINEER.
2. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION DUE TO WIND AND RUNOFF, AS WELL AS VEHICLE TRACKING. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
3. ALL PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO ANY OTHER EARTH-DISTURBING ACTIVITY. ALL OTHER STRUCTURAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS SOON AS THE FACILITIES, AROUND WHICH THEY ARE BASED, BECOME OPERATIONAL.
4. ANY EROSION CONTROL FACILITY DAMAGED OR DESTROYED PREMATURELY, BY ANY MEANS, SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR.
5. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA, UNLESS DESIGNATED FOR REMOVAL. CONTRACTOR SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
6. THERE SHALL BE NO EARTH DISTURBANCE OUTSIDE THE LIMIT OF THE DISTURBANCE DESIGNATED ON THESE PLANS.
7. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
8. THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE CONTRACTOR WILL NEED TO PROVIDE ALL STATE STORMWATER PERMITS FOR THIS PROJECT, PROVIDE ADDITIONAL INFORMATION NECESSARY TO OBTAIN STATE STORMWATER PERMITS, AND MAINTAIN AND MANAGE ALL ASPECTS OF THE STATE STORMWATER PERMITS FOR THIS PROJECT.
9. THE GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF MATERIAL EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF SOIL DURING TRANSPORT ON PUBLIC RIGHTS OF WAYS.
10. CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMPLEMENT ALL MEASURES THAT ARE DETERMINED NECESSARY, AND MEET THE REQUIREMENTS OF THE STATE STORMWATER DISCHARGE PERMIT.
11. NEGATIVE IMPACTS TO DOWNSTREAM AREAS CAUSED BY CONSTRUCTION TO BE MONITORED AND CORRECTED BY THE CONTRACTOR. ANY OFF-SITE CLEANUP, DIRECTED BY THE ENGINEER, (INCLUDING STREET CLEANING), SHALL BE COMPLETED WITHIN 24 HOURS OF WRITTEN INSTRUCTION, OR RISK CONSTRUCTION STOPPAGE.
12. APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" ("BMP") SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
13. WATER USED IN THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PRE-DEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE SHALL BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PRE-DEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING", AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES." THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, 303-692-3555.
14. PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST.
15. SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATION, CHEMICAL SOIL STABILIZER APPLICATION (REQUIRES PRIOR APPROVAL), OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
16. TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL SUCH TIME AS ALL TRIBUTARY DISTURBED AREAS ARE SUFFICIENTLY STABILIZED IN THE OPINION OF THE PROJECT ENGINEER TO MINIMIZE EROSION POTENTIAL.
17. WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE AND OTHER PUBLIC FACILITIES, AND TO RESTORE THE AREA TO NATURAL CONDITION.
18. ALL CURB AND GUTTERS SHALL BE CATCH SECTION UNLESS NOTED AS SPILL ON THE PLANS.
19. ALL SLOPES STEEPER THAN 12:1 THAT ARE TO BE REVEGETATED SHALL BE STABILIZED WITH BIODEGRADABLE TEMPORARY EROSION CONTROL BLANKET.
20. REFER TO LANDSCAPE PLAN BY TOWN OF FRISCO FOR REVEGETATION REQUIREMENTS IN THE PARK.

MARKER DESCRIPTORS



LEGEND

EXISTING UNDERGROUND ELECTRIC LINE	UE
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING UNDERGROUND COMMUNICATIONS LINE	UT
EXISTING FIBER OPTICS LINE	FO
EXISTING CATV	UTV
EXISTING SANITARY SEWER	SS
EXISTING FLOW LINE	
EXISTING ASPHALT PAVEMENT	
EXISTING CONCRETE PAVEMENT	
EXISTING BUILDING	
EXISTING BRICK SIDEWALK	
EXISTING ROCK WALL	
EXISTING PROPERTY LINE	
EXISTING EASEMENT LINE	
EXISTING 1' CONTOUR LINE	
EXISTING 5' CONTOUR LINE	
EXISTING BUCK AND RAIL FENCE	X
EXISTING UTILITY PEDESTAL/METER	
EXISTING ROAD SIGN	
EXISTING LIGHT POST	
EXISTING FIRE HYDRANT	
EXISTING WATER VALVE	GV
EXISTING TREES	
PROPOSED FENCE	X
PROPOSED BUILDING	
PROPOSED BUILDING ROOF OVERHANG	
PROPOSED HANDRAIL	
PROPOSED CONCRETE PAVEMENT	
PROPOSED ASPHALT PAVEMENT	
PROPOSED UNDERGROUND ELECTRIC	UE
PROPOSED SANITARY SEWER SERVICE	SS
PROPOSED TRANSFORMER	E

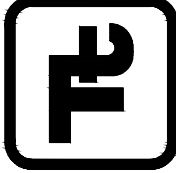
ABBREVIATIONS

AC	ACRE
ABC	AGGREGATE BASE COURSE
BOS	BOTTOM OF STAIRS
BOW	BOTTOM OF WALL (FINISH GRADE)
BVCS	BEGIN VERTICAL CURVE STATION
C	CHORD
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION
CFS	CUBIC FEET PER SECOND
CL	CENTERLINE, CLASS
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CR	CURB RAMP
CY	CUBIC YARD
DEMO	DEMOLISH
E	EASTING
EX	EXISTING
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EOA	EDGE OF ASPHALT
EOC	EDGE OF CONCRETE
EOCP	EDGE OF CONCRETE PANS
EOG	EDGE OF GRAVEL
EOR	EDGE OF ROAD
EVCS	END VERTICAL CURVE STATION
EX TC	EXISTING TOP/BACK OF CURB
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE, FLOOR GRILLE
FT, '	FOOT, FEET
FH	FIRE HYDRANT
FO	FIBER OPTIC
FL	FLOWLINE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
HMA	HOT MIX ASPHALT
IN, "	INCH
INV	INVERT
IE	INVERT ELEVATION
L	LENGTH, LEFT, LINE
LF	LINEAR FEET
MEG	MATCH EXISTING GRADE
MEP	MECHANICAL, ELECTRICAL, PLUMBING
N	NORTH, NORTHING
NO.	NUMBER
NTS	NOT TO SCALE
OFF	OFFSET
PC	POINT OF CURVATURE
PH	PHASE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS, RIGHT
ROW	RIGHT-OF-WAY
RCBC	REINFORCED CONCRETE PIPE, BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RCPA	REINFORCED CONCRETE PIPE, ARCH
SD	STORM DRAIN
SS	SANITARY SEWER
STA	STATION
SHT	SHEET
SWMP	STORMWATER MANAGEMENT PLAN
TBOC	TOP BACK OF CURB
TOC	TOP OF CONCRETE
TOW	TOP OF WALL (FINISH GRADE)
TV	TELEVISION VIDEO INSPECTION
TYP	TYPICAL
VERT	VERTICAL

SHEET INDEX

SHEET NO.	TITLE
G-101	GENERAL NOTES, LEGEND & ABBREVIATION
C-101	EXISTING CONDITIONS PLAN
C-102	DEMOLITION AND EROSION CONTROL PLAN
C-103	CIVIL SITE PLAN
C-104	GRADING AND DRAINAGE PLAN
C-500	CIVIL DETAILS

TETRA TECH



www.tetratech.com  
719 F TEN MILE DRIVE  
FRISCO, CO 80443  
970-423-3420

BY	DATE	DESCRIPTION	MARK
KGS	02/20/24	PERMIT SUBMITTAL	

TOWN OF FRISCO  
VISITOR INFORMATION CENTER  
GENERAL NOTES, LEGEND  
AND ABBREVIATION

PROJ:	200-86094-23001
DESN:	KGS
DRWN:	EGK
CHKD:	KGS

G-101







113

[illegible]

**TOWN OF FRISCO  
VISITOR INFORMATION CENTER  
DEMOLITION AND EROSION  
CONTROL PLAN**

PROJ:	200-86094-23001
DESN:	KGS
DRWN:	KGS
CHKD:	CDD









TOWN OF FRISCO  
VISITOR INFORMATION CENTER  
GRADING AND DRAINAGE  
PLAN

C-104

Bar Measures 1 inch, otherwise drawing not to scale

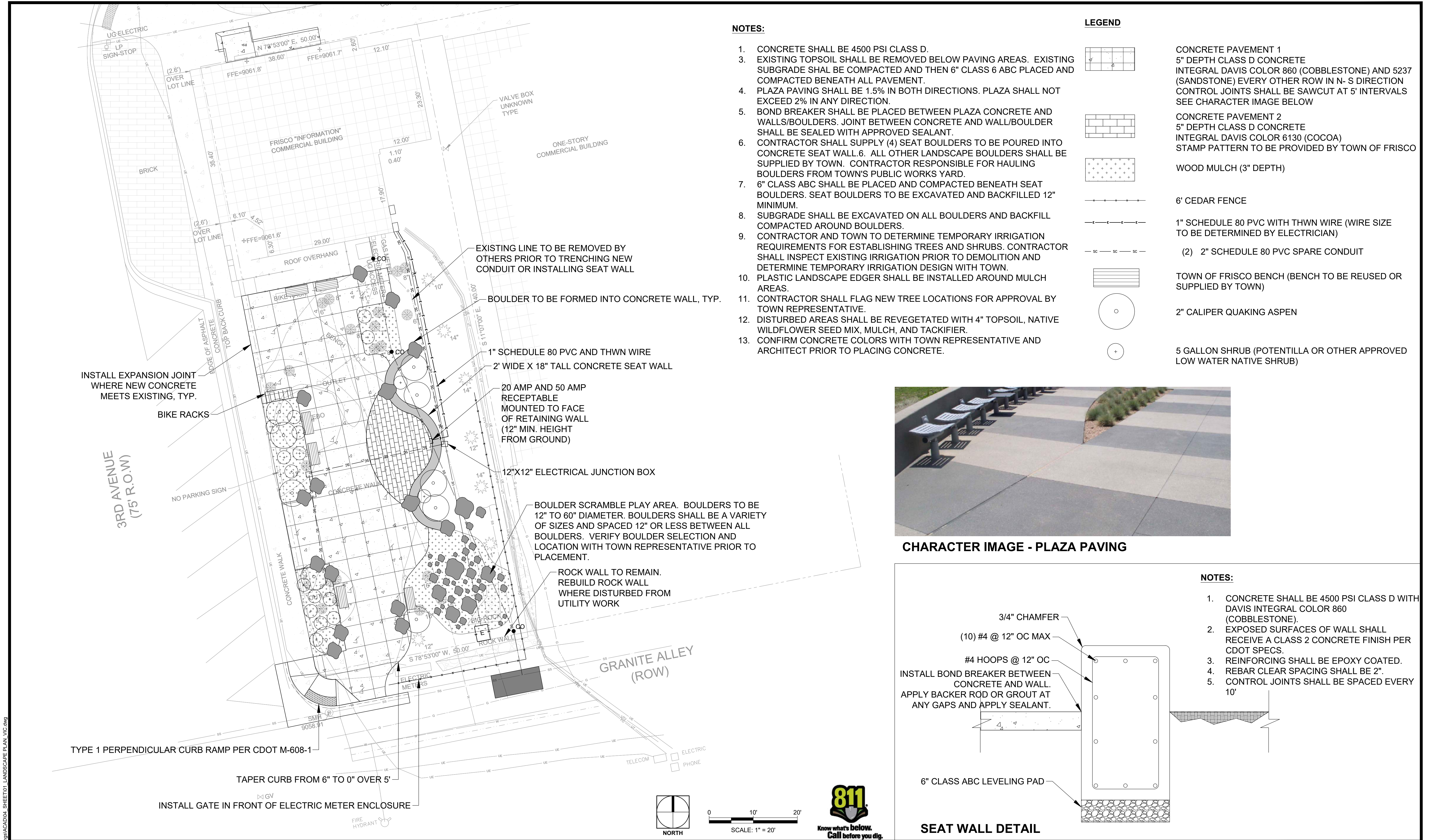













P:\Capital Projects\2024\VIC02 - Drawings\ACAD\04 - SHEET\01 - LANDSCAPE PLAN - VIC.dwg



Town of Frisco  
P.O. Box 4100  
102 School Road  
Frisco, CO 80443  
(970) 668-4579  
www.townoffrisco.com

Print Date: 1/29/2024 1:21 PM

File Name: 01\_LANDSCAPE PLAN\_VIC.dwg

Designed By: CMM

Project Address: 300 E MAIN ST

Sheet Revisions

#	Date	Description

OLD TOWN HALL PARK & VIC  
RENOVATIONS

Sheet Name:  
**LANDSCAPE  
PLAN**

Sheet Number:  
**L-102**

Issue:  
FOR CONSTRUCTION





Issue Date:  
1/29/24

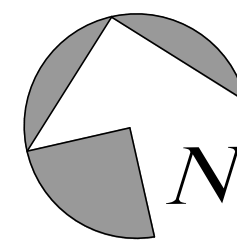
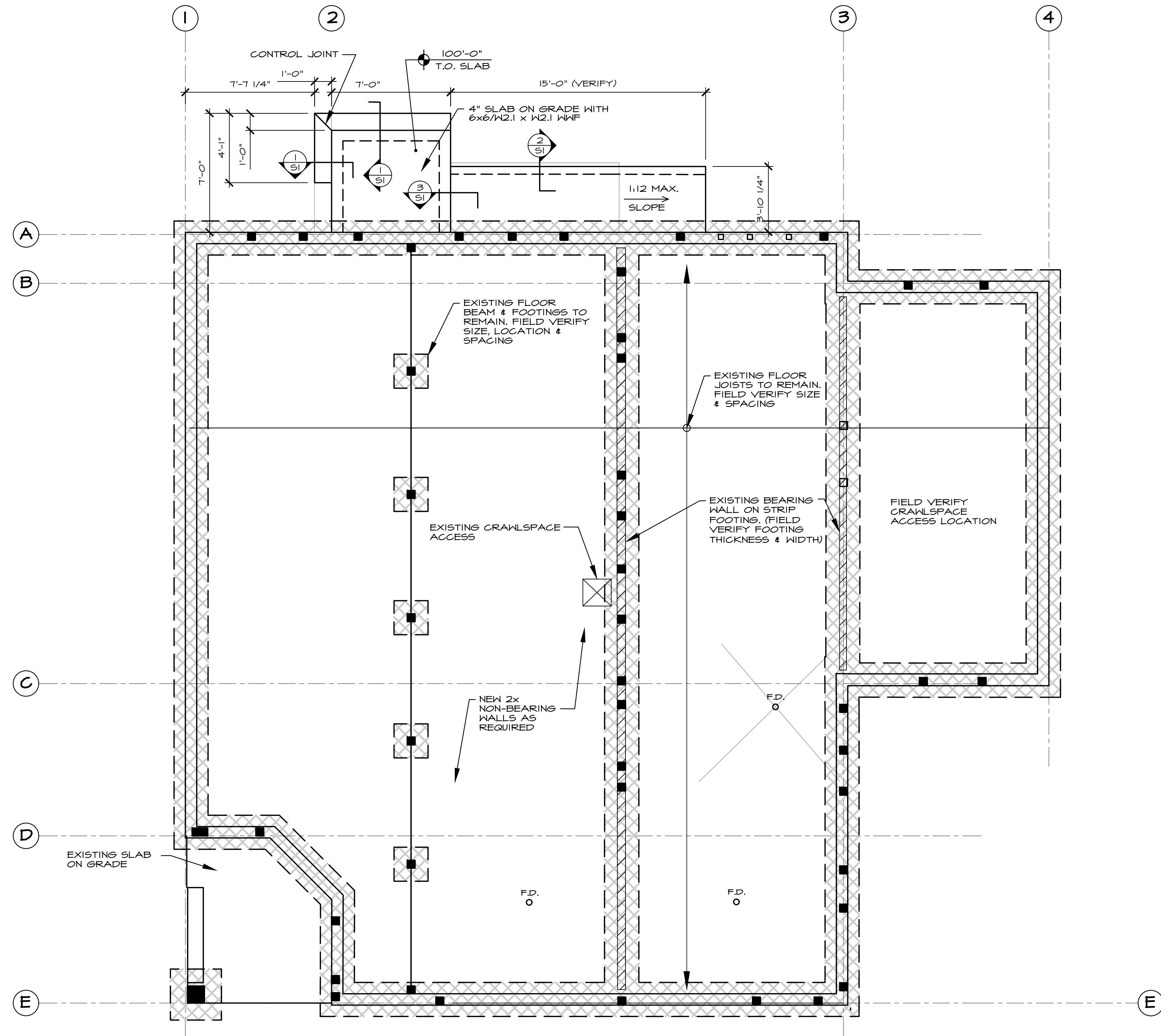
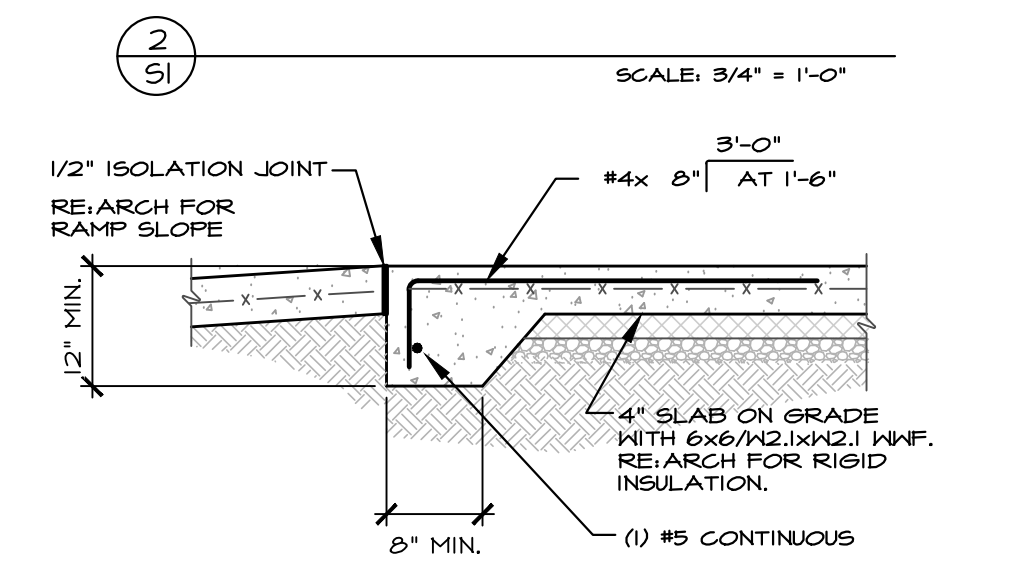
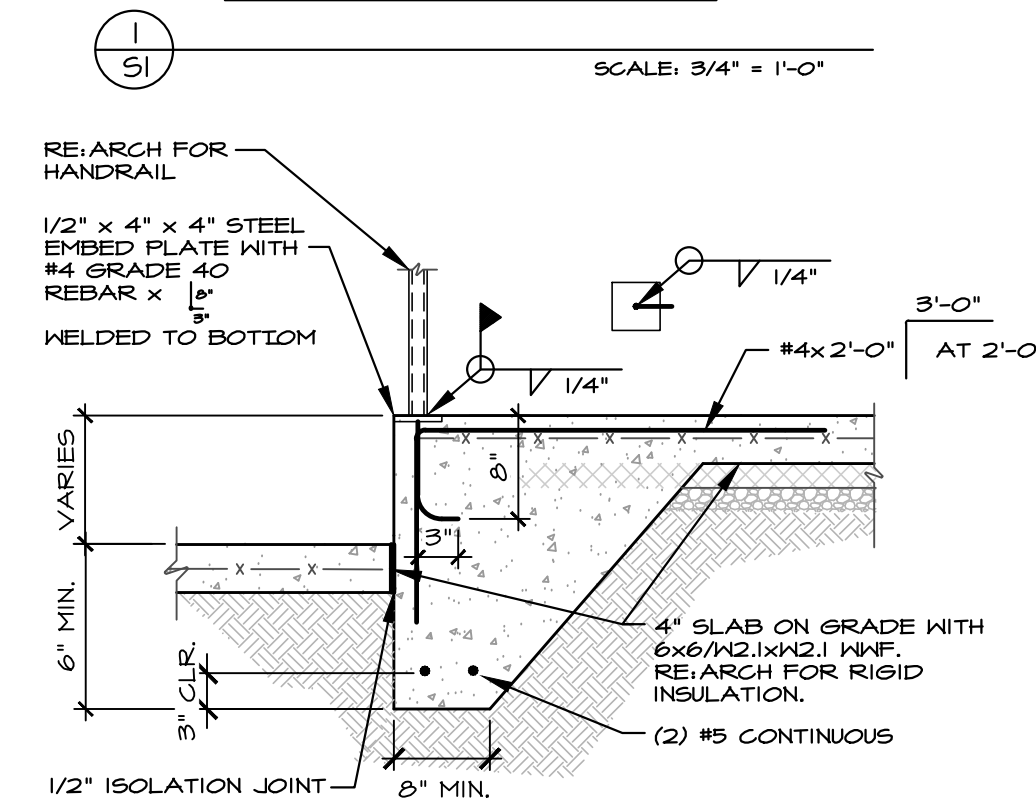
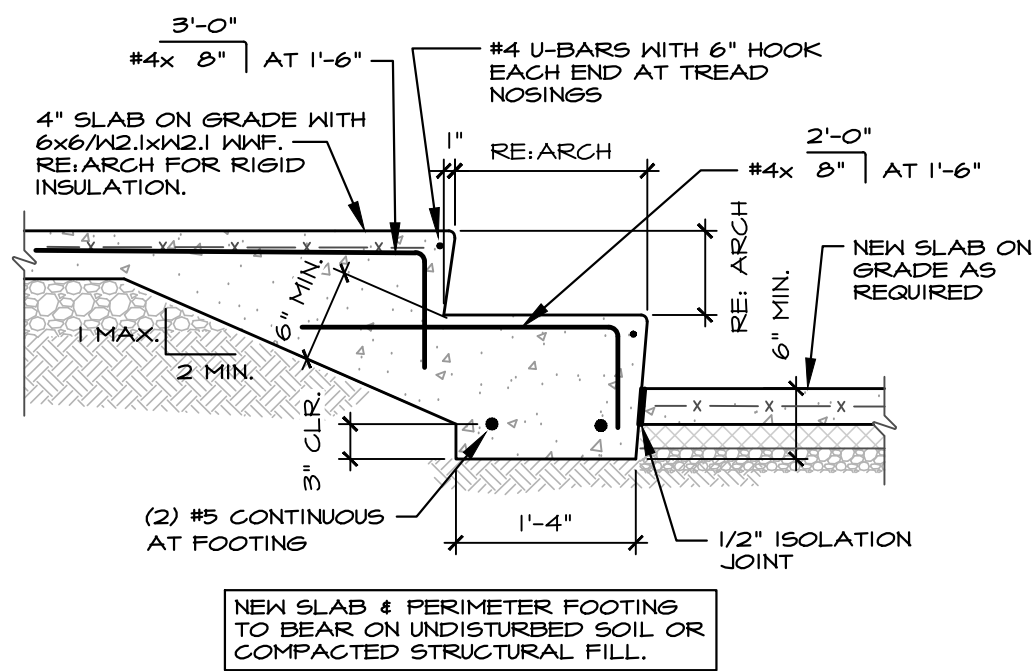
Project Number:  
2129

Sheet Number:  
SHEET 2 OF 2



FOUNDATION NOTES:

1. DATUM ELEVATION 100'-0" EQUALS TOP OF MAIN LEVEL FLOOR SLAB OR PLYWOOD ELEVATION. RE:ARCH FOR USGS ELEVATION.
2. [XX'-XX"] INDICATES TOP OF FOUNDATION WALL OR PIER ELEVATION.
3. (XX'-XX") INDICATES TOP OF FOOTING ELEVATION. UNLESS NOTED OTHERWISE, ALL FOOTINGS ARE 1'-6" WIDE x 8" DEEP.
4. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF GEOTECHNICAL ENGINEER FOR SUB-GRADE PREPARATION.
5. FOOTING ELEVATIONS SHOWN ARE MAXIMUMS AND MAY NEED TO BE LOWERED DUE TO SOIL CONDITIONS. VERIFY CHANGES WITH STRUCTURAL ENGINEER.
6. PLACE SLAB ON GRADE ON COMPACTED STRUCTURAL FILL OR NATURAL GRADE AS OUTLINED IN SOILS REPORT.
7. UNLESS OTHERWISE NOTED - ALL SLABS ON GRADE ARE 4" THICK WITH 6x6 W2.1 x W2.1 WELDED WIRE FABRIC.
8. GRIDLINE INDICATED BY: \_\_\_\_\_
9. CENTERLINE INDICATED BY: - - - - -
10. PROVIDE CONTROL JOINTS OR CONSTRUCTION JOINTS IN ALL SLABS ON GRADE. MAXIMUM SIZE OF EACH AREA SHALL NOT EXCEED EXCEED 144 FT<sup>2</sup> OR 12 FEET IN ANY DIRECTION. WHERE NOTED ON PLAN, CONTROL JOINT IS INDICATED BY: \_\_\_\_\_
11. PROVIDE FRACTURE MEMBRANE WHERE BRITTLE FLOOR FINISHES ARE INSTALLED OVER GYP-CRETE OR CONCRETE SLABS.
12. CONTRACTOR TO COORDINATE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL DRAWINGS.
13. REFER TO ARCHITECTURAL DRAWINGS FOR STAIR GUARDRAIL DETAILS AND LANDING ELEVATIONS.
14.  INDICATES EXISTING FOUNDATION TO REMAIN
15.  INDICATES OBSERVER DIRECTION  
 INDICATES DETAIL NUMBER ON SHEET  
 INDICATES SHEET NUMBER WHERE DETAIL IS LOCATED.

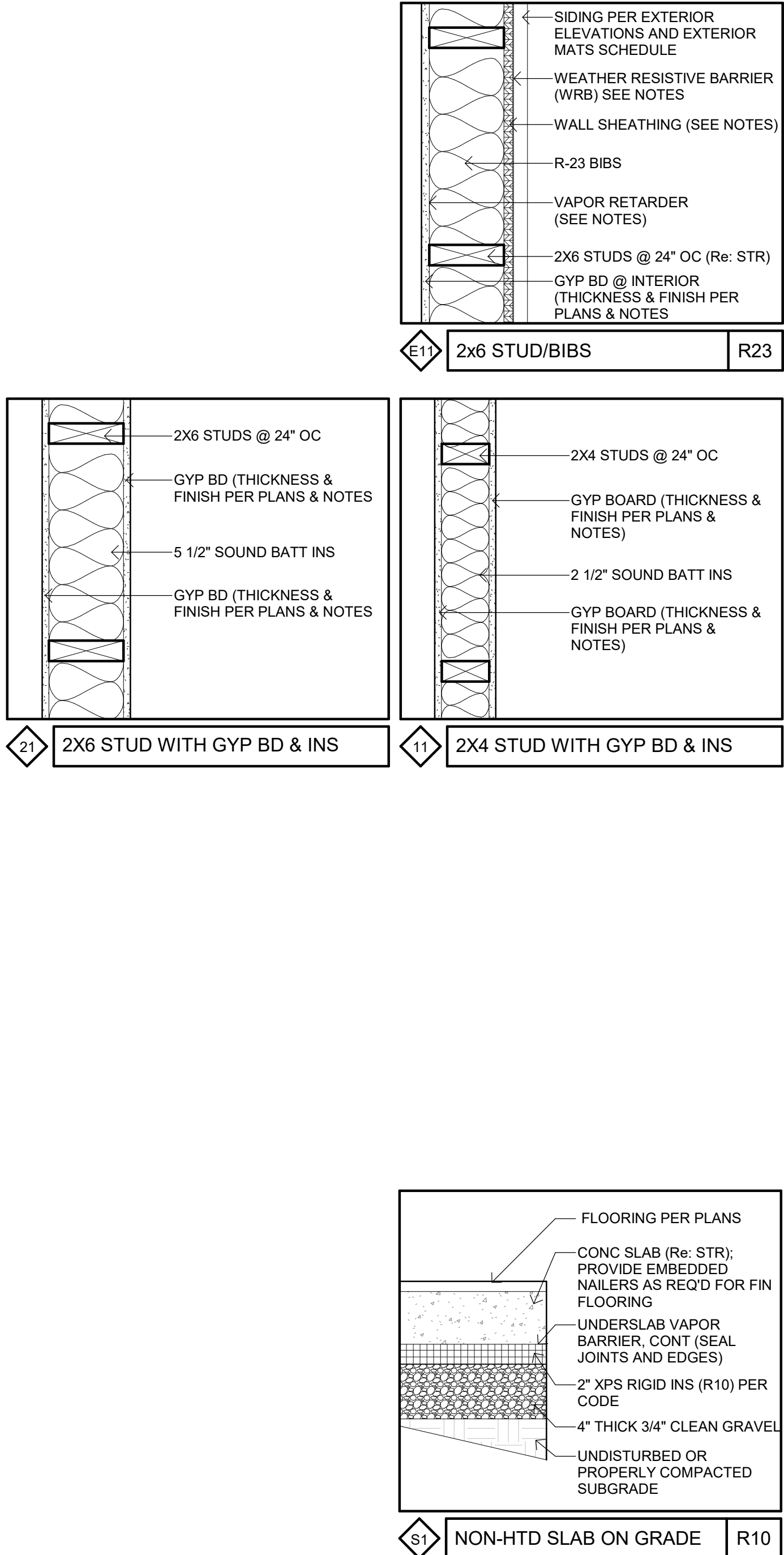


FOUNDATION & FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



CONSTRUCTION ASSEMBLY TYPES



CONSTRUCTION ASSEMBLY NOTES

- THESE ARE STANDARD CONSTRUCTION ASSEMBLY NOTES; NOT EVERY NOTE APPLIES TO EVERY PROJECT. REFER TO DRAWINGS & DETAILS FOR SPECIFIC CONDITIONS.
- TYPICAL CONSTRUCTION ASSEMBLIES AT NEW CONSTRUCTION (UNLESS OTHERWISE NOTED ON DWGS):  
  
EXTERIOR WALLS = E11  
INTERIOR WALLS = 11  
INTERIOR PLUMBING WALLS = 21  
CONCRETE SLABS = S1
- WALL TYPES SHOWN ON PLANS ARE TAKEN AT 5'-0" ABOVE FINISH FLOOR. NOT ALL EXTERIOR MATERIALS AND FINISHES ARE SHOWN ON FLOOR PLANS - REFER TO EXTERIOR ELEVATIONS FOR EXACT LOCATIONS OF EXTERIOR MATERIAL AND FINISH TRANSITIONS. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF STRUCTURAL MATERIAL TRANSITIONS.
- ALL GYPSUM BOARD TO BE 5/8" UNLESS OTHERWISE NOTED.
- REFER TO PLANS, INTERIOR ELEVATIONS, DETAILS AND LOCAL CODE ENFORCEMENT AUTHORITIES FOR EXTENT OF MOISTURE RESISTANT GYPSUM WALLBOARD AND CEMENT BOARD. GENERAL CONTRACTOR SHALL MAINTAIN REQUIRED FIRE RATING OF WALL ASSEMBLIES AND COORDINATE THIS WORK WITH APPROPRIATE SUBCONTRACTORS.
- TYPICAL DIMENSIONS ARE SHOWN FOR CONSTRUCTION ASSEMBLIES. REFER TO PLANS AND DETAILS FOR NONSTANDARD DIMENSION CONDITIONS.
- REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ALL LOAD BEARING CONSTRUCTION ASSEMBLIES. FIRE RATINGS PER ASSEMBLY TYPES SHALL BE MAINTAINED AT LOAD BEARING ASSEMBLIES.
- REFER TO PLANS, FINISH SCHEDULE, AND INTERIOR ELEVATIONS FOR INTERIOR FINISHES.
- REFER TO PLANS FOR COMPLETE DESCRIPTIONS OF ALL ASSEMBLY COMPONENTS AND CONSTRUCTION. CONFORM TO ALL APPLICABLE ASSEMBLY RATINGS AS NOTED HEREIN.
- REFER TO PLANS, REFLECTED CEILING PLANS, DETAILS, AND ENGINEERING DRAWINGS FOR DROPPED CEILING AND SOFFIT AREAS, DETAILS AND REQUIREMENTS.
- IN STUD WALLS, OFFSET WALL PENETRATIONS ON OPPOSITE SIDES OF WALLS BY AT LEAST 1 STUD BAY. GC TO COORDINATE THIS WORK WITH ALL SUBCONTRACTOR TRADES.
- ALL ACOUSTICAL WALLS (NOTED IN TYPES AS 'ACU') SHALL HAVE CONTINUOUS BEADS OF ACOUSTICAL SEALANT AT TOP & BOTTOM OF WALLS AND AT ALL WALL PENETRATIONS.
- REFER TO FLOOR PLAN FOR DRAFT STOPS AT ATTICS (IF APPLICABLE).
- PROVIDE FIRE STOPPING IN ALL STUD WALLS ADJACENT TO STRINGERS IN ALL STAIRS.
- OPTIMUM VALUE ENGINEERING [OVE]: REFER TO GENERAL NOTES, AND [www.eere.energy.gov/buildings/building\\_america/pdfs/db/35380.pdf](http://www.eere.energy.gov/buildings/building_america/pdfs/db/35380.pdf). CONTACT ARCHITECT FOR FURTHER INFORMATION IF NECESSARY.
- RIGID INSULATION BELOW SLABS ON GRADE: EXTRUDED POLYSTYRENE [XPS], DOW 'STYROFOAM' TONGUE AND GROOVE [R/inch=5], OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.dow.com/styrofoam](http://www.dow.com/styrofoam)
- RIGID INSULATION AT OUTSIDE FACE OF EXTERIOR WALLS: EXTRUDED POLYSTYRENE [XPS], [R/inch=5] OWENS CORNING 'FOAMULAR 404', OR APPROVED EQUAL. TAPE JOINTS PER MFR INSTRUCTIONS. THICKNESS PER DRAWINGS. [www.owenscorning.com](http://www.owenscorning.com)
- RIGID INSULATION AT ROOF AREAS: POLYISOCYANURATE [POLYISO], HUNTER PANELS 'H-SHIELD'[R/inch=6+], OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.hpanels.com](http://www.hpanels.com)
- SPRAY INSULATION: HIGH DENSITY SPRAY CLOSED-CELL POLYURETHANE FOAM [R/inch=6+], BASF 'COMFORT FOAM 178 SERIES', OR APPROVED EQUAL, THICKNESS PER DRAWINGS. [www.performancefoam.net/178%20Comfort%20Foam%20Tech%20Data.pdf](http://www.performancefoam.net/178%20Comfort%20Foam%20Tech%20Data.pdf)
- UNDERSLAB VAPOR/RADON BARRIER: STEGO WRAP 15 MIL VAPOR BARRIER, OR APPROVED EQUAL. TAPE ALL SEAMS AND EDGES PER MFR RQMTS. [www.stegoindustries.com](http://www.stegoindustries.com)
- WEATHER RESISTIVE BARRIER [WRB], TYVEK HOME WRAP, OR APPROVED EQUAL, CONTINUOUS AT ALL EXTERIOR WALLS. USE MFR STD FASTENERS. TAPE ALL JOINTS PER MFR INSTRUCTIONS. [www2.dupont.com/Tyvek/en\\_US](http://www2.dupont.com/Tyvek/en_US)
- VAPOR RETARDER [INSIDE FACE OF EXTERIOR WALLS AND ROOFS, AS NOTED ON DWGS]: CERTAINTED 'MEMBRAIN' SMART VAPOR RETARDER ([www.certainteed.com](http://www.certainteed.com)), ALTERNATE METHOD: SPRAY FOAM INSULATION WILL ALSO FULFILL THIS REQUIREMENT.
- WINDOW/DOOR FLASHING [TYPICAL AT ALL DOOR/WINDOW FRAMES AND AS NOTED ON DWGS]: GRACE 'VYCOR' BUTYL FLASHING, OR APPROVED EQUAL. [www.na.graceconstruction.com](http://www.na.graceconstruction.com)
- FLEXIBLE SELF ADHERED FLASHING [TYPICAL BEHIND STONE VENEER AND AS NOTED ON DWGS]: PROTECTO-WRAP 100/60, OR APPROVED EQUAL. [www.protectowrap.com](http://www.protectowrap.com)
- INSULATED CONCRETE FORM SYSTEM [ICF]: NUDURA OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.nudura.com](http://www.nudura.com)
- FOUNDATION WATERSTOP [CONTINUOUS AT TOP OF FOOTING]: CETCO 'VOLCLAY WATERSTOP-RX', OR APPROVED EQUAL. APPLY OUTBOARD OF VERTICAL REBAR, AFTER FOOTING POUR AND PRIOR TO WALL FORMING, PER DWGS AND MFR INSTRUCTIONS.
- BELOW GRADE WATERPROOFING [TYPICAL AT FULL HEIGHT OF FDN WALLS AND FOOTINGS]: GRACE 'PROCOR 75' FLUID-APPLIED MEMBRANE [MIN 60 MILS THICK], OR APPROVED EQUAL. COLD APPLIED SYSTEM, TO BE COMPATIBLE WITH ICF SYSTEM, CONTINUOUS FROM TOP OF CONC WALL TO BOTTOM OF FOOTING. [www.na.graceconstruction.com](http://www.na.graceconstruction.com)
- BELOW GRADE DRAINAGE MAT [TYPICAL AT FULL HEIGHT OF FDN WALLS AND FOOTINGS]: TREMCO 'TREMRAIN PF', OR APPROVED EQUAL, CONTINUOUS FROM TOP OF CONC WALL TO BOTTOM OF FOOTING. [www.tremcosealants.com](http://www.tremcosealants.com)
- DRAINSCREEN [TYPICAL BEHIND STONE VENEER]: MORTAR NET 'STONE & STUCCO DRAIN', OR APPROVED EQUAL. [www.mortarnet.com](http://www.mortarnet.com)
- WALL SHEATHING: 1/2" APA-RATED CDX [EXPOSURE 1] PLYWOOD, OR APPROVED EQUAL.
- ROOF SHEATHING: REFER TO STRUCTURAL.
- NAILING SURFACE [OUTBOARD OF RIGID INSULATION AT WALLS/ROOFS, AS SHOWN ON DWGS]: 1/2" APA-RATED CDX [EXPOSURE 1] PLYWOOD, OR APPROVED EQUAL.
- ROOF UNDERLAYMENT [CONTINUOUS AT ALL ROOF SURFACES AND SIDEWALLS, AS SHOWN ON DWGS]: GRACE 'ICE & WATER SHIELD', OR APPROVED EQUAL. [www.na.graceconstruction.com](http://www.na.graceconstruction.com)
- FOUNDATION-TO-FLOOR FLASHING: GRACE 'BITUTHENE 3000', OR APPROVED EQUAL. LAP 6" MIN OVER FDN WALL WATERPROOFING AND 6" MIN UP WOOD FRAMING, UNDER WRB. [www.na.graceconstruction.com](http://www.na.graceconstruction.com)
- GEOTEXTILE FABRIC: TENCATE 'MIRAFI 140N', OR APPROVED EQUAL, AS SHOWN ON DWGS. [www.tencate.com/TenCate/Geosynthetics/documents/N%20Series/TDS\\_140N.pdf](http://www.tencate.com/TenCate/Geosynthetics/documents/N%20Series/TDS_140N.pdf)
- "COLD ROOF" WHERE SPECIFIED SHALL INCLUDE CONTINUOUS EAVE & RIDGE VENTS (1.5" MIN GAP); INSTALLER SHALL COORDINATE ADEQUATE AIR FLOW @ VALLEYS & OTHER OBSTRUCTIONS AND PROVIDE SOLID BLOCKING @ SOLAR PANELS OR OTHER ROOF MOUNTED EQUIPMENT.

**STAIS**  
**ARCHITECTURE**  
**& INTERIORS**

409 east main street  
p o box 4175  
frisco . colorado 80443  
970 453 0444

**STAIS** ARCHITECTS.COM

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

CONST ASSEMBLIES &  
NOTES

**draft**

A200



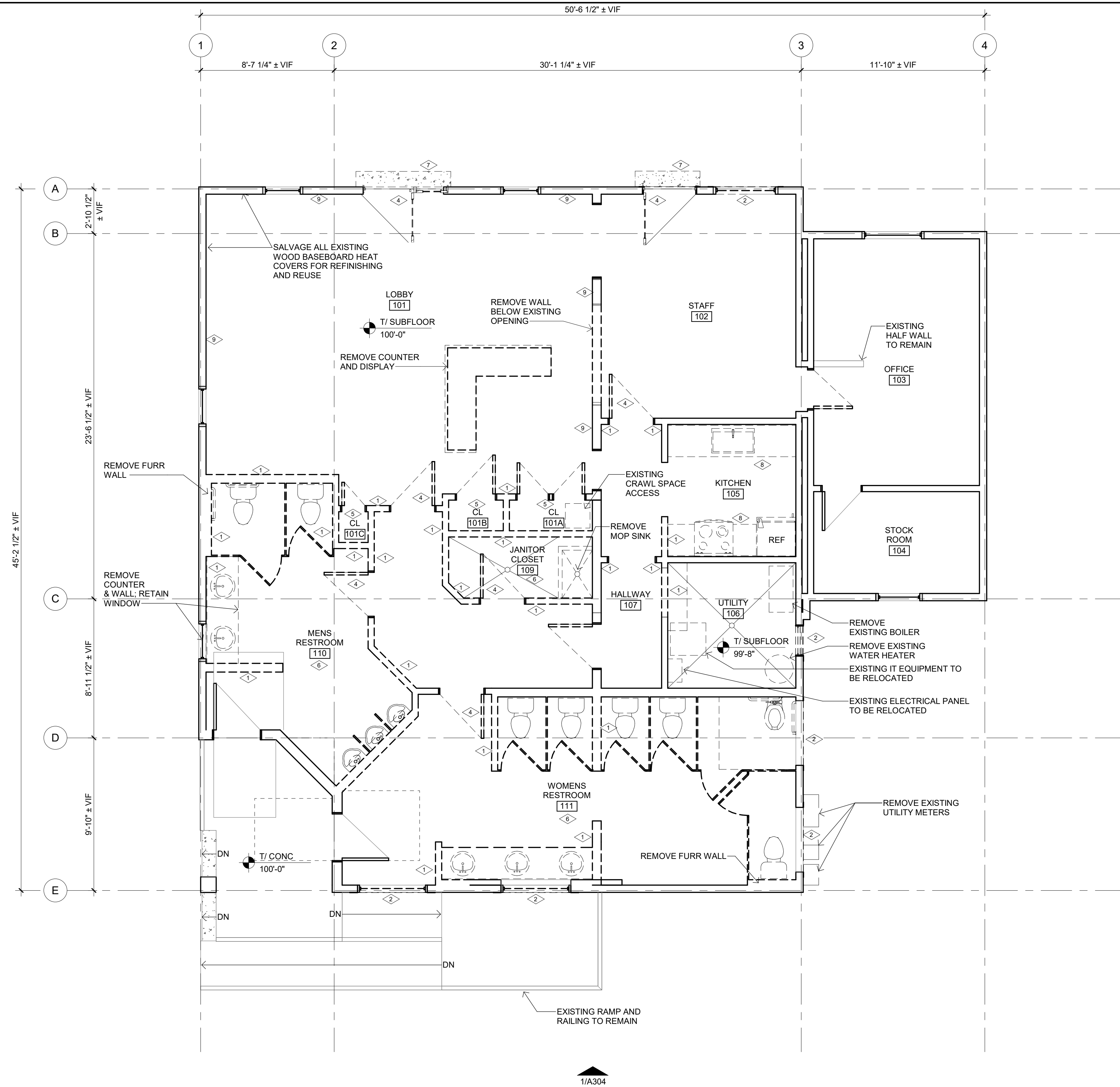
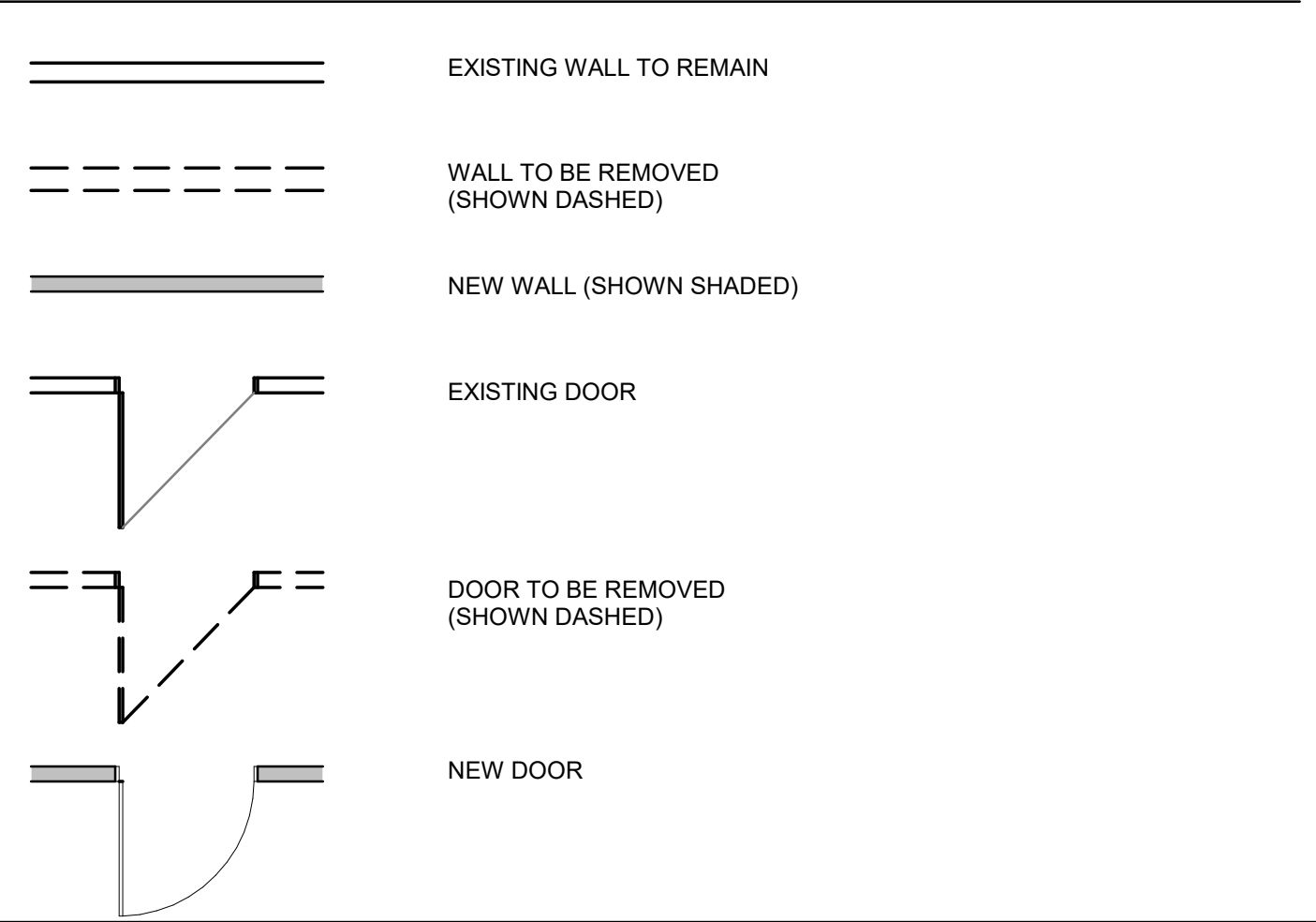
DEMOLITION NOTES

- 1) THE GOAL OF DECONSTRUCTION IS TO LESSEN THE WASTE STREAM ENTERING THE LANDFILL, COMPARED TO THE PREVIOUS METHODS OF BUILDING DEMOLITION. THE PROJECT TEAM IS EXPECTED TO WORK TOWARDS THIS GOAL IN CREATIVE WAYS. SINCE DECONSTRUCTION CONCEPTS ARE NEW TO THE LOCAL BUILDING INDUSTRY, SOME FLEXIBILITY IS ALLOWED AND EXPECTED.
- 2) PLANS AND OTHER INFORMATION SHOWN ON THIS SHEET ARE CONCEPTUAL IN NATURE, MEANT TO CONVEY THE SCOPE OF WORK. ALL DETAILS SHALL BE VERIFIED IN FIELD BY CONTRACTOR AT THE OUTSET OF THE WORK.
- 3) THE CONTRACTOR AND SUBCONTRACTOR SHALL USE CARE DURING DECONSTRUCTION TO SALVAGE MATERIALS FOR REUSE WHERE POSSIBLE.
- 4) THE CONTRACTOR AND SUBCONTRACTORS SHALL USE CARE DURING DECONSTRUCTION TO MAINTAIN AND PROTECT EXISTING SITE FEATURES DESIGNATED TO REMAIN, SUCH AS TREES AND LANDSCAPING.
- 5) EXISTING BUILDING HAS ELECTRICAL WATER, AND SEWER SERVICE. CONTRACTOR SHALL COORDINATE WITH OWNER TO CONTINUE OR SHUT OFF THESE SERVICES DURING DECONSTRUCTION AND CONSTRUCTION, AT CONTRACTOR OPTION. UTILITIES SHALL BE PAID FOR AND COORDINATED BY THE OWNER.
- 6) CONNECTION OR TAP FEES HAVE BEEN PAID FOR THE EXISTING BUILDING FOR ELECTRICAL, WATER, AND SEWER SERVICE. CONTRACTOR SHALL COORDINATE THESE EXISTING AGREEMENTS WITH APPLICABLE UTILITY COMPANIES TO KEEP ADDITIONAL FEES REQUIRED DURING PERMITTING AS LOW AS POSSIBLE FOR THE OWNER.
- 7) EXISTING BUILDING SHALL BE CHECKED FOR PRESENCE OF ASBESTOS CONTAINING MATERIALS BY THE OWNER, AND, IF FOUND TO BE PRESENT, SHALL BE REMEDIATED BY THE OWNER PER APPLICABLE STATE OF COLORADO REGULATIONS [ [www.cdphe.state.co.us/asr/asbestos.asp](http://www.cdphe.state.co.us/asr/asbestos.asp) ]. THIS WORK SHALL BE CONSIDERED OUTSIDE THE SCOPE OF THE GENERAL CONTRACTOR.

### DEMOLITION KEY NOTES

- 1 REMOVE WALL
- 2 REMOVE WINDOW
- 3 REMOVE ROOF
- 4 REMOVE DOOR
- 5 REMOVE CLOSET & DOOR
- 6 REMOVE BATH FIXTURES, PARTITIONS AND FINISHES
- 7 REMOVE STAIRS
- 8 REMOVE COUNTERS, CABINETS, AND APPLIANCES
- 9 REMOVE WOOD WAINSCOT
- 10
- 11
- 12
- 13
- 14

## PLAN LEGEND

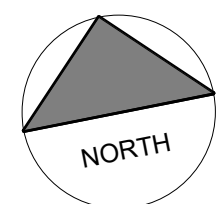
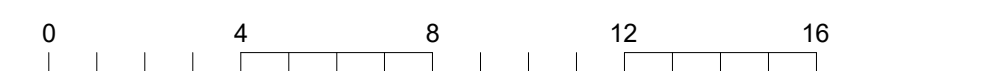


1  
A211

EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



 **STAIS**  
ARCHITECTURE  
& INTERIORS

409 east main street  
p o box 4175  
frisco . colorado 80443  
970 453 0444



old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

## EXISTING CONDITIONS & DEMOLITION PLAN

A211



FLOOR PLAN KEY NOTES

- 1 CENTER DOOR IN WALL
- 2 CENTER WINDOW IN INSIDE FACE OF WALL
- 3 EXISTING CRAWL SPACE ACCESS TO REMAIN
- 4 FLOORING MATERIAL TRANSITION
- 5 EXISTING FLOOR DRAIN
- 6 MOP SINK
- 7 N/A
- 8 BABY CHANGING STATION
- 9 ELECTRIC HAND DRYER
- 10 PAPER TOWEL DISPENSER
- 11 PULL DOWN STAIR FOR ATTIC ACCESS (MIN RO 22"x30")
- 12 PROVIDE BLOCKING FOR WALL ACCESSORIES - SEE INTERIOR FINISH NOTES
- 13 NEW ELECTRIC PANEL
- 14 IT EQUIPMENT
- 15 PROVIDE 2X4 FURRED WALL
- 16 ADA GRAB BAR ASSEMBLY
- 17 NEW FLOOR DRAIN

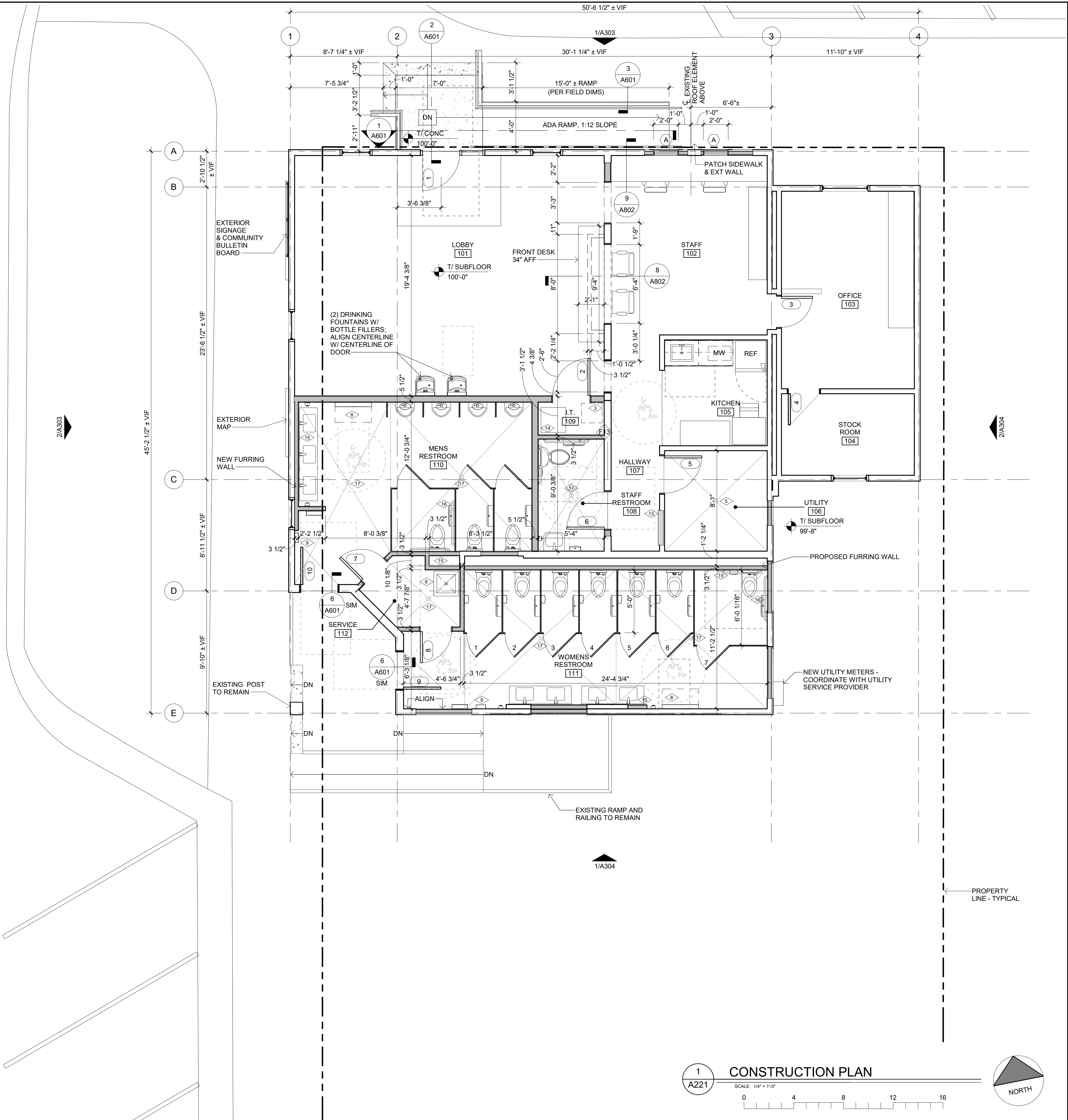
FLOOR PLAN NOTES

- ALL ELECTRICAL SWITCHES, RECEPTACLES, ENVIRONMENTAL CONTROLS AND SIMILAR EQUIPMENT SHALL BE MOUNTED BETWEEN 15" AND 44" ABOVE FINISHED FLOOR TO CENTER OF SAID EQUIPMENT, PER MFR RECOMMENDATIONS, CODE REQUIREMENTS, OR OWNER DIRECTION.
- "ALIGN" AS NOTED IN PLANS INDICATES FIELD ALIGNMENT OF FRAMING TO ALLOW FOR CONTINUOUS WALL FINISH.
- WALL DIMENSIONS ARE TO FACE OF WOOD STUDS, CONCRETE, CMU, OR ICF WALLS, AND TO CENTERLINE OF STRUCTURAL STEEL UNLESS OTHERWISE NOTED.
- DIMENSIONS TO FACE OF WALL FINISH ARE DENOTED BY "FIN".
- MINIMUM DIMENSIONS ARE NOTED BY "MIN". IF THIS CANNOT BE ACHIEVED NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- WINDOW AND DOOR DIMENSIONS ARE NOMINAL, REFER TO SCHEDULES, TYPES AND/OR NOTES FOR UNIT SIZES, CONTRACTOR TO VERIFY UNIT AND ROUGH OPENING SIZES PRIOR TO WALL CONSTRUCTION.
- SWINGING DOORS SHALL BE 4" FROM ADJACENT WALL @ FRAME WALLS & 8" FROM ADJACENT WALL @ CONCRETE/CMU/ICF WALLS, UNLESS OTHERWISE NOTED.
- ALL WALL AND FLOOR SURFACES SHALL COMPLY WITH APPLICABLE LOCAL CODES REGARDING CLEANABLE/WASHABLE SURFACES, PER APPROVAL OF LOCAL BUILDING OFFICIAL, ENVIRONMENTAL HEALTH DEPT, AND OTHER APPLICABLE JURISDICTIONS.

PLAN LEGEND

- EXISTING WALL TO REMAIN
- WALL TO BE REMOVED (SHOWN DASHED)
- NEW WALL (SHOWN SHADED)
- EXISTING DOOR
- DOOR TO BE REMOVED (SHOWN DASHED)
- NEW DOOR

2/2/2024 11:58:48 AM \\staisarchitects.com\stais\users\nick\Documents\TOF Info Center A&A R23\_ind&ZLPO.rvt



**STAIS**  
ARCHITECTURE  
& INTERIORS

409 east main street  
p o box 4175  
frisco . colorado 80443  
970 453 0444

**STAIS**ARCHITECTS.COM

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
revised	11 sep 2023
review	17 nov 2023
pricing	2 feb 2024

CONSTRUCTION PLAN &  
NOTES

**draft**

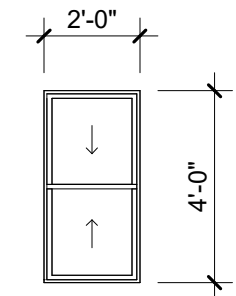
A221



2/2/2024 11:58:48 AM \\stais\architects.com\share\users\nick\Documents\TOF Info Center A&A R23\_ind&ZLPO.rvt

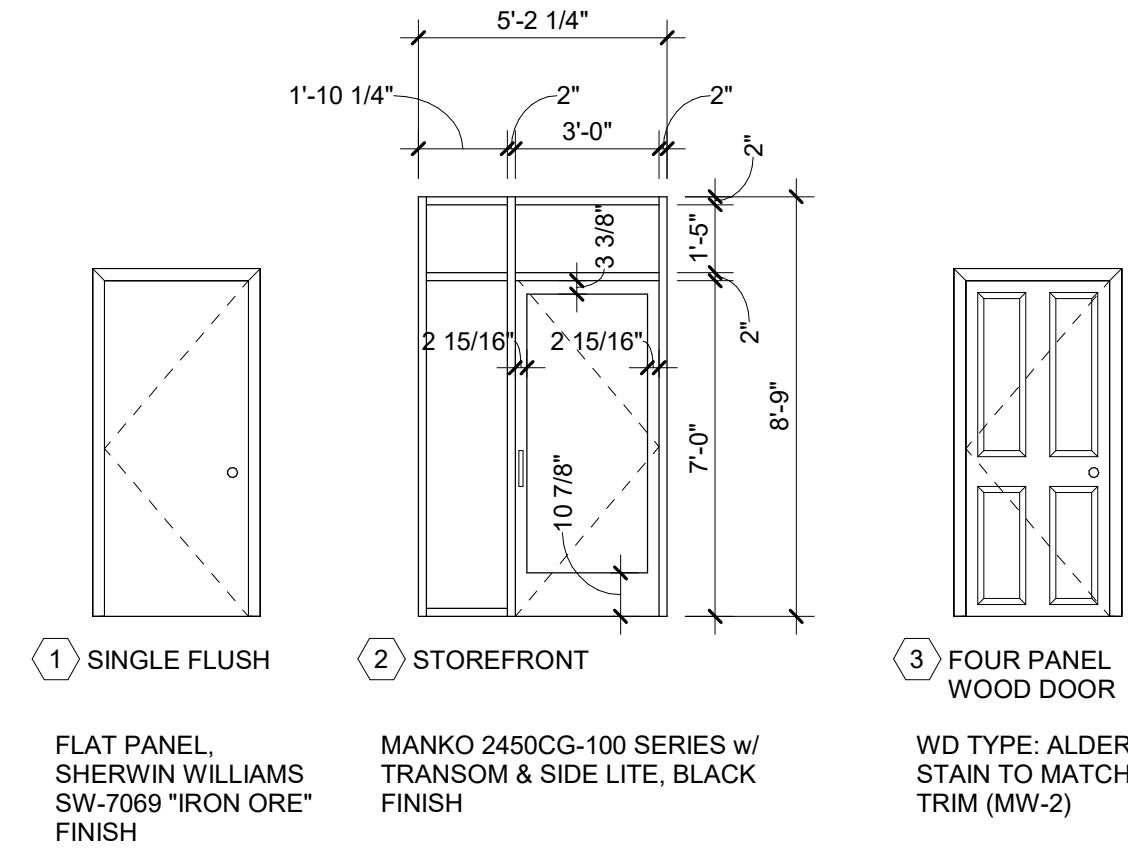
WINDOW TYPES

- NOTES: 1. VERIFY ALL SWINGS WITH EXTERIOR ELEVATIONS  
2. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING UNITS  
3. REFER ALSO TO DOOR AND WINDOW NOTES BELOW  
4. RETROFIT HISTORIC WINDOWS - ADD ADDITIONAL FIXED WINDOW SASH AT INTERIOR EXISTING HISTORIC WINDOW OPENINGS (QUANTITY: 4). WOOD FRAMES SHALL MATCH EXISTING HISTORIC WINDOWS. SASH SHALL SIT WITHIN EXISTING JAMB EXTENSIONS. SINGLE PANE GLAZING SHALL BE USED.

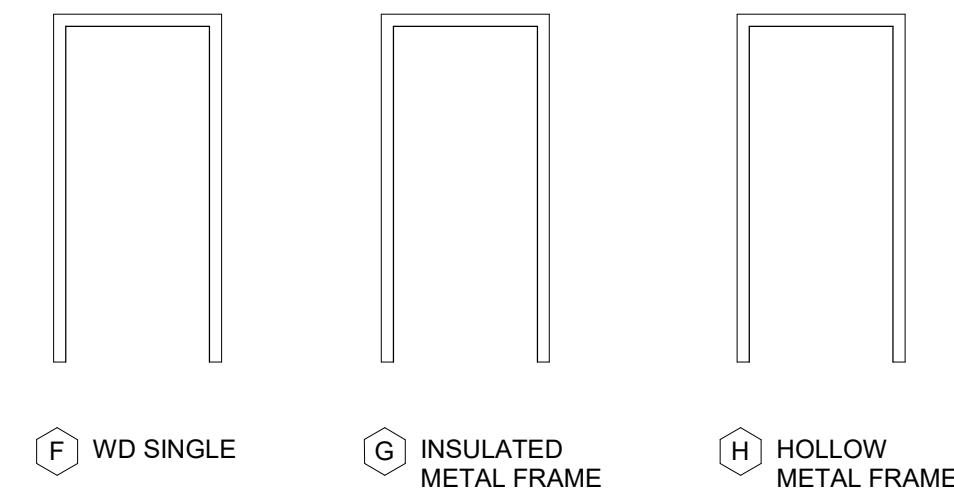


(A) (1) DBL HUNG  
SIERRA PACIFIC  
ALUM CLAD WD WDW  
MFR STD BLACK

DOOR TYPES



DOOR FRAME TYPES



DOOR & FRAME SCHEDULE

#	MATL	DOOR TYPE	FRAME TYPE	WIDTH	HEIGHT	THKNSS	HARDWARE	NOTES
1	ALUM	ALUM	Z	3'-0"	7'-0"	5" FRAME	TYPE 1	NEW STOREFRONT PER DOOR TYPES
2	WD-SC	4	F	3'-0"	7'-0"	1 3/4"	TYPE 2	
3	WD-SC	4	F	2'-6"	7'-0"	1 3/4"	TYPE 2	
4	WD-SC	1	G	2'-6"	7'-0"	1 3/4"	NO CHANGE	EXISTING - NO CHANGE
5	WD-SC	4	F	3'-0"	7'-0"	1 3/4"	TYPE 2	
6	WD-SC	4	F	3'-0"	7'-0"	1 3/4"	TYPE 2	
7	MTL-INS	1	H	2'-6"	7'-0"	1 3/4"	TYPE 3	
8	MTL-INS	1	H	2'-6"	7'-0"	1 3/4"	TYPE 3	
9	MTL-INS	1	G	3'-0"	7'-0"	1 3/4"	TYPE 4	EXISTING DOOR
10	MTL-INS	1	G	3'-0"	7'-0"	1 3/4"	TYPE 4	EXISTING DOOR

DOOR & WINDOW NOTES

- UNIT SIZES (NOT ROUGH OPENINGS) HAVE BEEN SHOWN ON DOOR & WINDOW TYPES AND MAY HAVE BEEN ROUNDED FOR COMPARISON WITH OTHER MANUFACTURERS. VERIFY ALL DOOR, FRAME, WINDOW, AND ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO START OF CONSTRUCTION. SUBSTITUTION OF MANUFACTURERS WILL BE ALLOWED ONLY WITH OWNER / ARCHITECT APPROVAL.
- REFER TO FLOOR PLANS FOR DOOR AND FRAME HANDING. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING.
- SEE WINDOW TYPES FOR WINDOW HANDING AND OPERATION. CROSS CHECK OPERATION WITH EXTERIOR ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING WINDOWS.
- ALL WINDOWS & EXTERIOR DOORS TO HAVE 'LOW E' INSULATED GLAZING UNLESS NOTED ON SCHEDULE; AND SHALL BE RATED FOR USE AT HIGH ALTITUDES, PER MANUFACTURERS' REQUIREMENTS.
- FIELD MEASURE FOR ALL CUSTOM UNIT SIZES PRIOR TO ORDERING.
- PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS PER SCHEDULES.
- WRAP TYVEK INTO ALL WINDOW AND DOOR OPENINGS (PER TYVEK MFR SPEC) PRIOR TO SETTING UNITS.
- PROVIDE 1/2" CLR FOR INSULATION AT ALL EXTERIOR SHIM SPACES OF DOORS AND WINDOWS.
- VERIFY WINDOW AND DOOR HARDWARE FINISHES WITH OWNER PRIOR TO ORDERING.
- PROVIDE ALL COMBINATION UNITS WITH EXTERIOR MULLION COVERS.
- WINDOWS AND DOORS TO HAVE FIELD APPLIED EXTERIOR TRIM (Re: A300); JAMB EXTENSION AND CASED OPENING AT INTERIOR.
- ALL GLAZED AREAS IN HAZARDOUS LOCATIONS MUST BE GLAZED WITH SAFETY MATERIAL. PER IBC.
- ALL RATED ASSEMBLIES AS NOTED ON DOOR SCHEDULE SHALL INCLUDE RATED DOOR, FRAME AND HARDWARE.
- U-VALUE OF WINDOW AND DOOR ASSEMBLIES TO COMPLY WITH CURRENT IECC REQMTS.
- PROVIDE FRAME PROFILE AT ALL FIXED WINDOWS TO MATCH PROFILE (NO DIRECT SET).
- TYPICAL DOOR FRAMING TO BE 4" FROM ADJACENT WALL ON HINGED SIDE UNLESS OTHERWISE DIMENSIONED ON PLANS.

DOOR HARDWARE SCHEDULE

TYPE 1	STOREFRONT HARDWARE	DEADBOLT: MANUFACTURER: ADAMS RITE FINISH: BLACK #355 BLACK ANODIZED DESCRIPTION: MS LOCK, MS WITH GLOBAL CYLINDERS (OR SIMILAR)  LEVER: MANUFACTURER: ADAMS RITE FINISH: BLACK #355 BLACK ANODIZED DESCRIPTION: #4550 DEADLATCH PADDLE (REFER TO CONSTRUCTION PLAN FOR DOOR SWING)  DOOR CLOSER: MANUFACTURER: LCN BLACK #693 BLACK DESCRIPTION: #4040 HEAVY-DUTY GRADE-1 DOOR CLOSER  THRESHOLD: ACCESIBLE TRESHOLD - PER MFR
TYPE 2	PASSAGE DOOR	MANUFACTURER: FALCON FINISH: MATTE BLACK #622 DESCRIPTION: QUANTUM COLLECTION, T SERIES #T-101S
TYPE 3	PASSAGE DOOR w/ DEADBOLT	MANUFACTURER: FALCON FINISH: MATTE BLACK #622 DESCRIPTION: QUANTUM COLLECTION, T SERIES #T-101S  DEADBOLT: MANUFACTURER: SARGENT FINISH: BSP-BLACK DESCRIPTION: #486 SINGLE CYLINDER
TYPE 4	PASSAGE DOOR w/ DEADBOLT & TIMER	MANUFACTURER: FALCON FINISH: MATTE BLACK #622 DESCRIPTION: QUANTUM COLLECTION, T SERIES #T-101S w/ WIRED ELECTRIFIED WATCH  DEADBOLT: MANUFACTURER: SARGENT FINISH: BSP-BLACK DESCRIPTION: #486 SINGLE CYLINDER  THRESHOLD: ACCESIBLE TRESHOLD - PER MFR

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024



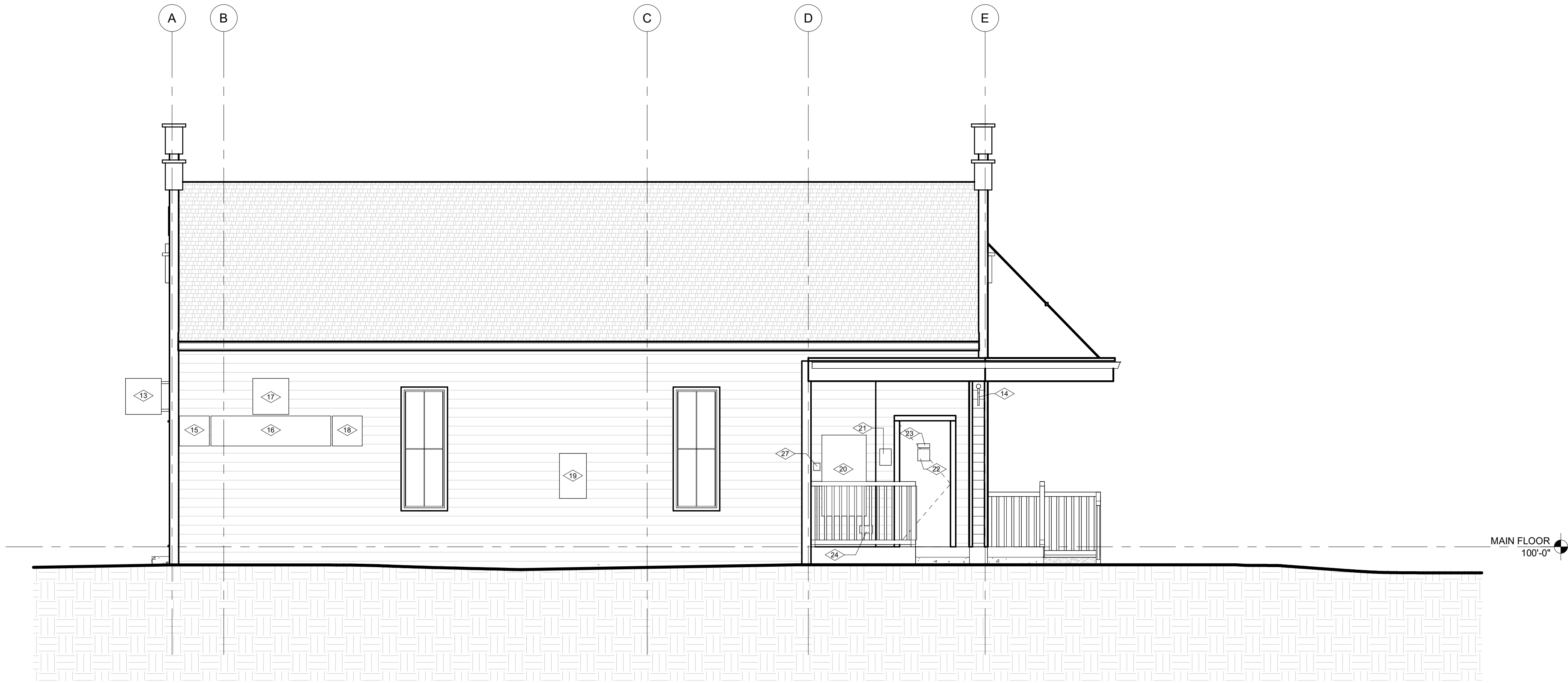
2/2/2024 11:58:49 AM \\staisarchitects.com\stais\users\nick\Documents\TOF Info Center A&A R23\_ind&ZLPO.rvt

SIGNAGE SCHEDULE

SIGN	DESCRIPTION	ACTION
<1>	FRISCO EVENT CALENDAR	NO CHANGE
<2>	FRISCO SOCIAL MEDIA	NO CHANGE
<3>	OLD TOWN HALL HISTORICAL PLAQUE #1	NO CHANGE
<4>	ACCESSIBLE ACCESS IN REAR OF BUILDING SIGN	REMOVE
<5>	INFORMATION POINT SIGN #1	REMOVE
<6>	ADDRESS NUMBERS	NO CHANGE
<7>	FRISCO LOGO SIGN #1	NO CHANGE
<8>	VISITOR INFORMATION SIGN #1	NO CHANGE
<9>	COPPER MOUNTAIN LOGO SIGN #1	NO CHANGE
<10>	OLD TOWN HALL SIGN	NO CHANGE
<11>	SINGLE PAMPHLET CONTAINER	RELOCATE (RE: ELEVATIONS)
<12>	TRIPLE PAMPHLET CONTAINER	NO CHANGE
<13>	INFORMATION POINT SIGN #2	NO CHANGE
<14>	RESTROOM SIGN	NO CHANGE
<15>	FRISCO LOGO SIGN #2	RELOCATE
<16>	VISITOR INFORMATION SIGN #2	RELOCATE
<17>	INFORMATION POINT SIGN #3	REMOVE
<18>	COPPER MOUNTAIN LOGO SIGN #2	RELOCATE
<19>	OLD TOWN HALL HISTORICAL PLAQUE #2	RELOCATE
<20>	TOWN MAP	FURNISHED BY OWNER, GC TO INSTALL
<21>	RESTROOMS HOURS OF OPERATION	NO CHANGE
<22>	WOMEN'S RESTROOM SIGN	NO CHANGE
<23>	NO SMOKING SIGN - WOMEN'S RESTROOM DOOR	NO CHANGE
<24>	DOG LEASH HOOK & SIGN	NO CHANGE
<25>	MEN'S RESTROOM SIGN	NO CHANGE
<26>	NO SMOKING SIGN - MEN'S RESTROOM DOOR	NO CHANGE
<27>	NO SMOKING SIGN	NO CHANGE
<28>	ARCO 2 DOOR ALLUMINUM FRAMED ENCLOSED BULLETIN BOARDS - BRONZE ANODIZED - 72" W x 48" H	



1  
A301  
EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A301  
EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

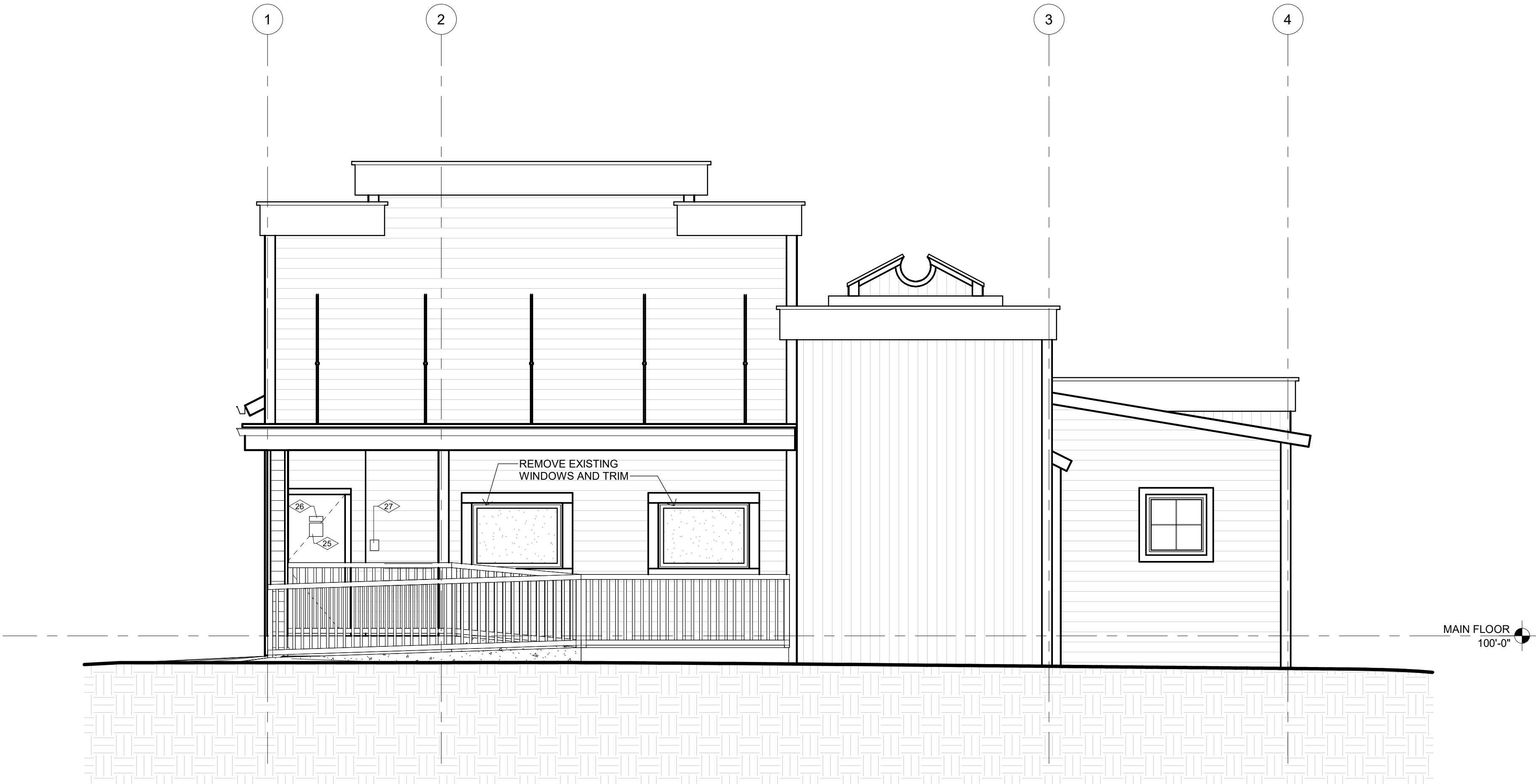
ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

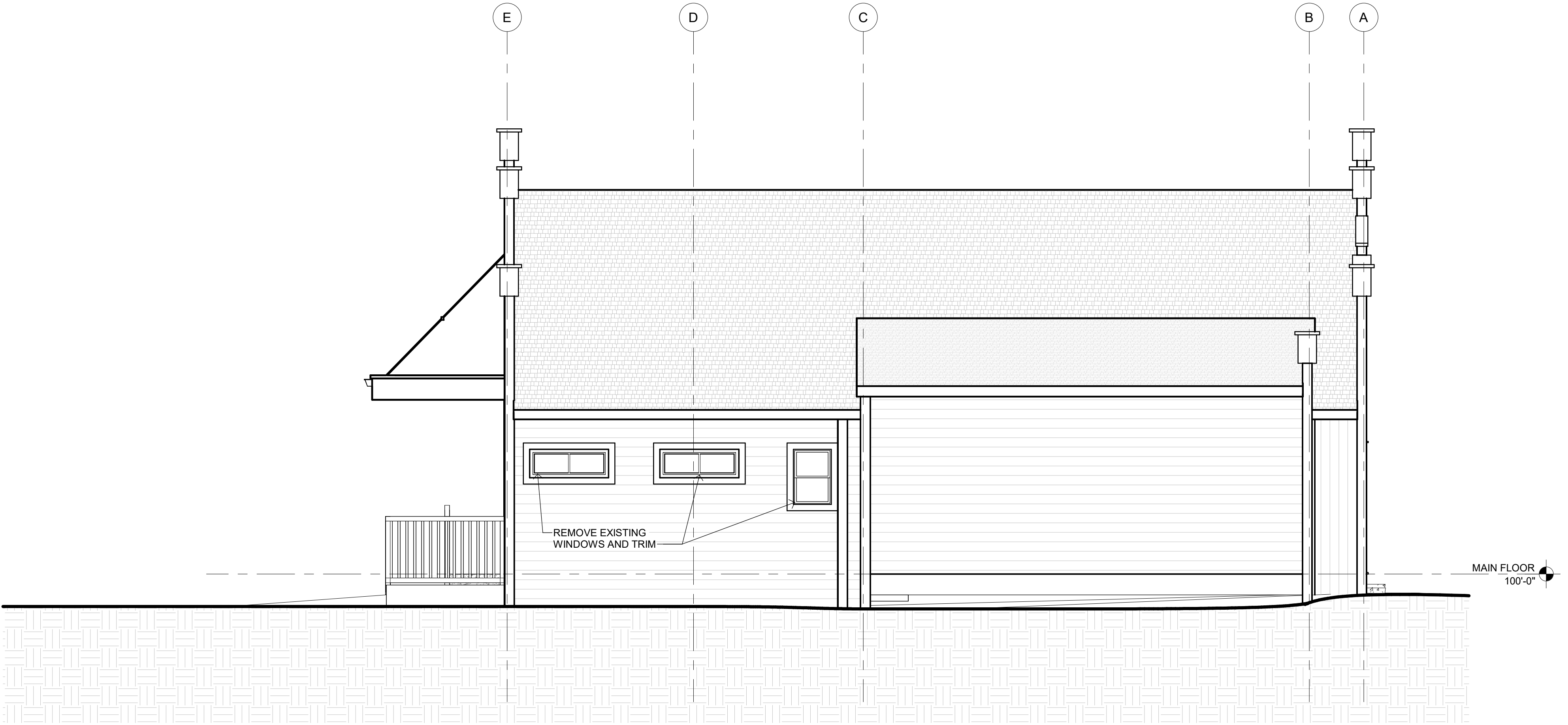


SIGNAGE SCHEDULE

SIGN	DESCRIPTION	ACTION
<1>	FRISCO EVENT CALENDAR	NO CHANGE
<2>	FRISCO SOCIAL MEDIA	NO CHANGE
<3>	OLD TOWN HALL HISTORICAL PLAQUE #1	NO CHANGE
<4>	ACCESSIBLE ACCESS IN REAR OF BUILDING SIGN	REMOVE
<5>	INFORMATION POINT SIGN #1	REMOVE
<6>	ADDRESS NUMBERS	NO CHANGE
<7>	FRISCO LOGO SIGN #1	NO CHANGE
<8>	VISITOR INFORMATION SIGN #1	NO CHANGE
<9>	COPPER MOUNTAIN LOGO SIGN #1	NO CHANGE
<10>	OLD TOWN HALL SIGN	NO CHANGE
<11>	SINGLE PAMPHLET CONTAINER	RELOCATE (RE: ELEVATIONS)
<12>	TRIPLE PAMPHLET CONTAINER	NO CHANGE
<13>	INFORMATION POINT SIGN #2	NO CHANGE
<14>	RESTROOM SIGN	NO CHANGE
<15>	FRISCO LOGO SIGN #2	RELOCATE
<16>	VISITOR INFORMATION SIGN #2	RELOCATE
<17>	INFORMATION POINT SIGN #3	REMOVE
<18>	COPPER MOUNTAIN LOGO SIGN #2	RELOCATE
<19>	OLD TOWN HALL HISTORICAL PLAQUE #2	RELOCATE
<20>	TOWN MAP	FURNISHED BY OWNER, GC TO INSTALL
<21>	RESTROOMS HOURS OF OPERATION	NO CHANGE
<22>	WOMEN'S RESTROOM SIGN	NO CHANGE
<23>	NO SMOKING SIGN - WOMEN'S RESTROOM DOOR	NO CHANGE
<24>	DOG LEASH HOOK & SIGN	NO CHANGE
<25>	MEN'S RESTROOM SIGN	NO CHANGE
<26>	NO SMOKING SIGN - MEN'S RESTROOM DOOR	NO CHANGE
<27>	NO SMOKING SIGN	NO CHANGE
<28>	ARCO 2 DOOR ALUMINUM FRAMED ENCLOSED BULLETIN BOARDS - BRONZE ANODIZED - 72" W x 48" H	



1  
A302  
EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A302  
EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

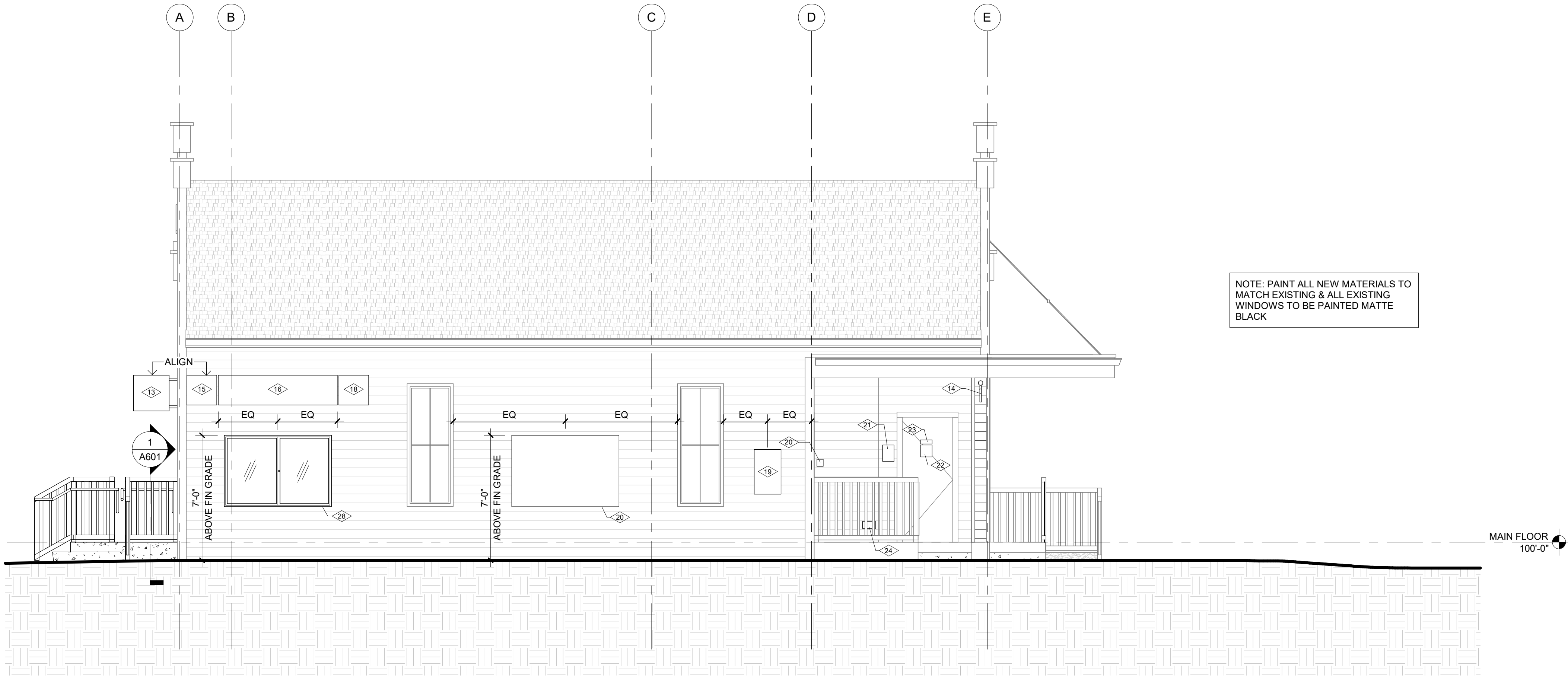


SIGNAGE SCHEDULE

SIGN	DESCRIPTION	ACTION
<1>	FRISCO EVENT CALENDAR	NO CHANGE
<2>	FRISCO SOCIAL MEDIA	NO CHANGE
<3>	OLD TOWN HALL HISTORICAL PLAQUE #1	NO CHANGE
<4>	ACCESSIBLE ACCESS IN REAR OF BUILDING SIGN	REMOVE
<5>	INFORMATION POINT SIGN #1	REMOVE
<6>	ADDRESS NUMBERS	NO CHANGE
<7>	FRISCO LOGO SIGN #1	NO CHANGE
<8>	VISITOR INFORMATION SIGN #1	NO CHANGE
<9>	COPPER MOUNTAIN LOGO SIGN #1	NO CHANGE
<10>	OLD TOWN HALL SIGN	NO CHANGE
<11>	SINGLE PAMPHLET CONTAINER	RELOCATE (RE: ELEVATIONS)
<12>	TRIPLE PAMPHLET CONTAINER	NO CHANGE
<13>	INFORMATION POINT SIGN #2	NO CHANGE
<14>	RESTROOM SIGN	NO CHANGE
<15>	FRISCO LOGO SIGN #2	RELOCATE
<16>	VISITOR INFORMATION SIGN #2	RELOCATE
<17>	INFORMATION POINT SIGN #3	REMOVE
<18>	COPPER MOUNTAIN LOGO SIGN #2	RELOCATE
<19>	OLD TOWN HALL HISTORICAL PLAQUE #2	RELOCATE
<20>	TOWN MAP	FURNISHED BY OWNER, GC TO INSTALL
<21>	RESTROOMS HOURS OF OPERATION	NO CHANGE
<22>	WOMEN'S RESTROOM SIGN	NO CHANGE
<23>	NO SMOKING SIGN - WOMEN'S RESTROOM DOOR	NO CHANGE
<24>	DOG LEASH HOOK & SIGN	NO CHANGE
<25>	MEN'S RESTROOM SIGN	NO CHANGE
<26>	NO SMOKING SIGN - MEN'S RESTROOM DOOR	NO CHANGE
<27>	NO SMOKING SIGN	NO CHANGE
<28>	ARCO 2 DOOR ALUMINUM FRAMED ENCLOSED BULLETIN BOARDS - BRONZE ANODIZED - 72" W x 48" H	



1  
A303  
PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A303  
PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

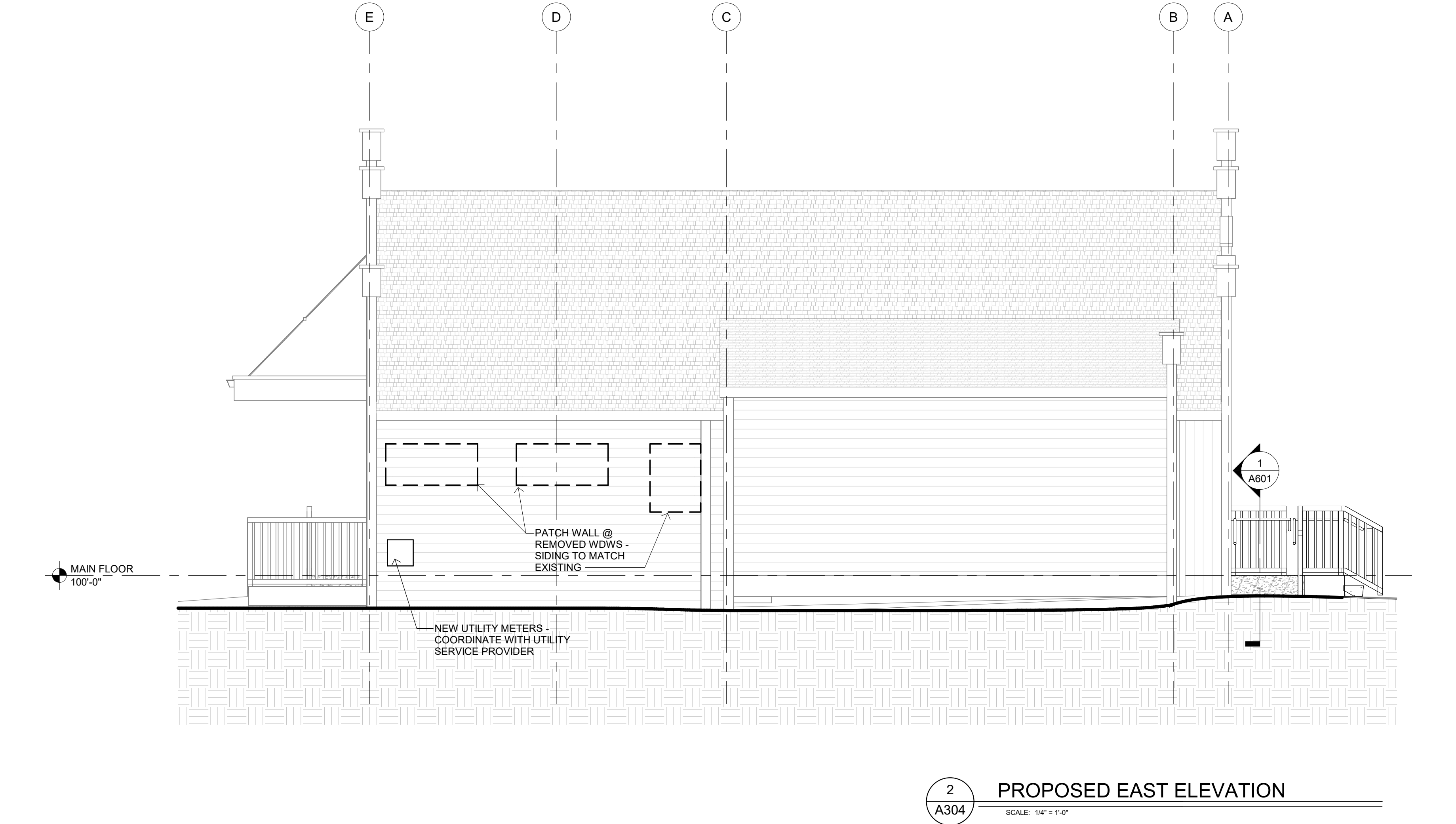
PROPOSED EXTERIOR  
ELEVATIONS

**draft**

A303



SIGN	DESCRIPTION	ACTION
<1>	FRISCO EVENT CALENDAR	NO CHANGE
<2>	FRISCO SOCIAL MEDIA	NO CHANGE
<3>	OLD TOWN HALL HISTORICAL PLAQUE #1	NO CHANGE
<4>	ACCESSIBLE ACCESS IN REAR OF BUILDING SIGN	REMOVE
<5>	INFORMATION POINT SIGN #1	REMOVE
<6>	ADDRESS NUMBERS	NO CHANGE
<7>	FRISCO LOGO SIGN #1	NO CHANGE
<8>	VISITOR INFORMATION SIGN #1	NO CHANGE
<9>	COPPER MOUNTAIN LOGO SIGN #1	NO CHANGE
<10>	OLD TOWN HALL SIGN	NO CHANGE
<11>	SINGLE PAMPHLET CONTAINER	RELOCATE (RE: ELEVATIONS)
<12>	TRIPLE PAMPHLET CONTAINER	NO CHANGE
<13>	INFORMATION POINT SIGN #2	NO CHANGE
<14>	RESTROOM SIGN	NO CHANGE
<15>	FRISCO LOGO SIGN #2	RELOCATE
<16>	VISITOR INFORMATION SIGN #2	RELOCATE
<17>	INFORMATION POINT SIGN #3	REMOVE
<18>	COPPER MOUNTAIN LOGO SIGN #2	RELOCATE
<19>	OLD TOWN HALL HISTORICAL PLAQUE #2	RELOCATE
<20>	TOWN MAP	FURNISHED BY OWNER, GC TO INSTALL
<21>	RESTROOMS HOURS OF OPERATION	NO CHANGE
<22>	WOMEN'S RESTROOM SIGN	NO CHANGE
<23>	NO SMOKING SIGN - WOMEN'S RESTROOM DOOR	NO CHANGE
<24>	DOG LEASH HOOK & SIGN	NO CHANGE
<25>	MEN'S RESTROOM SIGN	NO CHANGE
<26>	NO SMOKING SIGN - MEN'S RESTROOM DOOR	NO CHANGE
<27>	NO SMOKING SIGN	NO CHANGE
<28>	ARCO 2 DOOR ALUMINUM FRAMED ENCLOSED BULLETIN BOARDS - BRONZE ANODIZED - 72" W x 48" H	





2/2/2024 11:58:50 AM \\staisarchitects.com\shares\users\nick\Documents\TOF Info Center A&A R23\_ind\ZSLPQ.rvt



3 VIEW FROM NORTHEAST  
A311 SCALE:



1 VIEW FROM NORTHWEST  
A311 SCALE:



4 VIEW FROM SOUTHEAST  
A311 SCALE:



2 VIEW FROM SOUTHWEST  
A311 SCALE:

**old town hall park &  
vic renovations**

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:	
80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

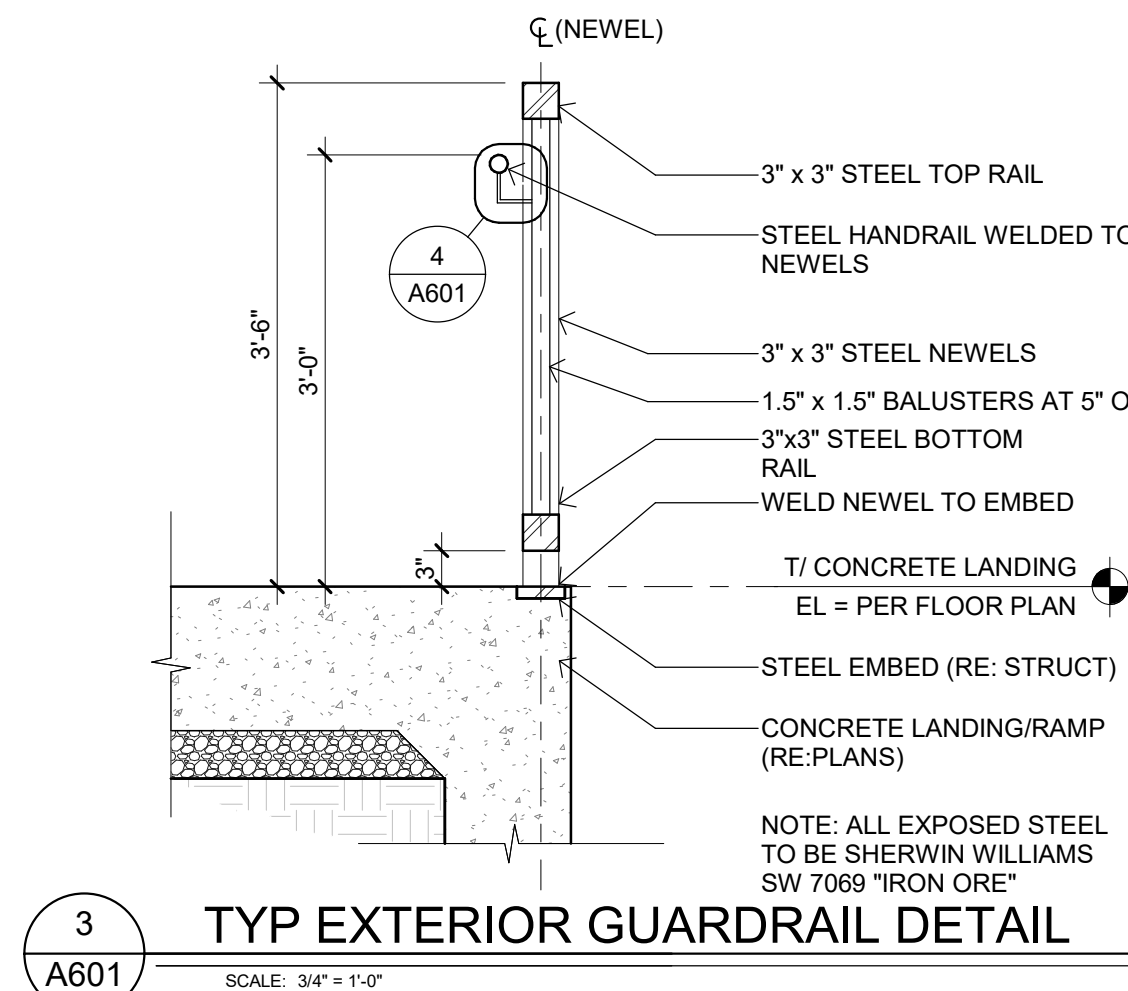
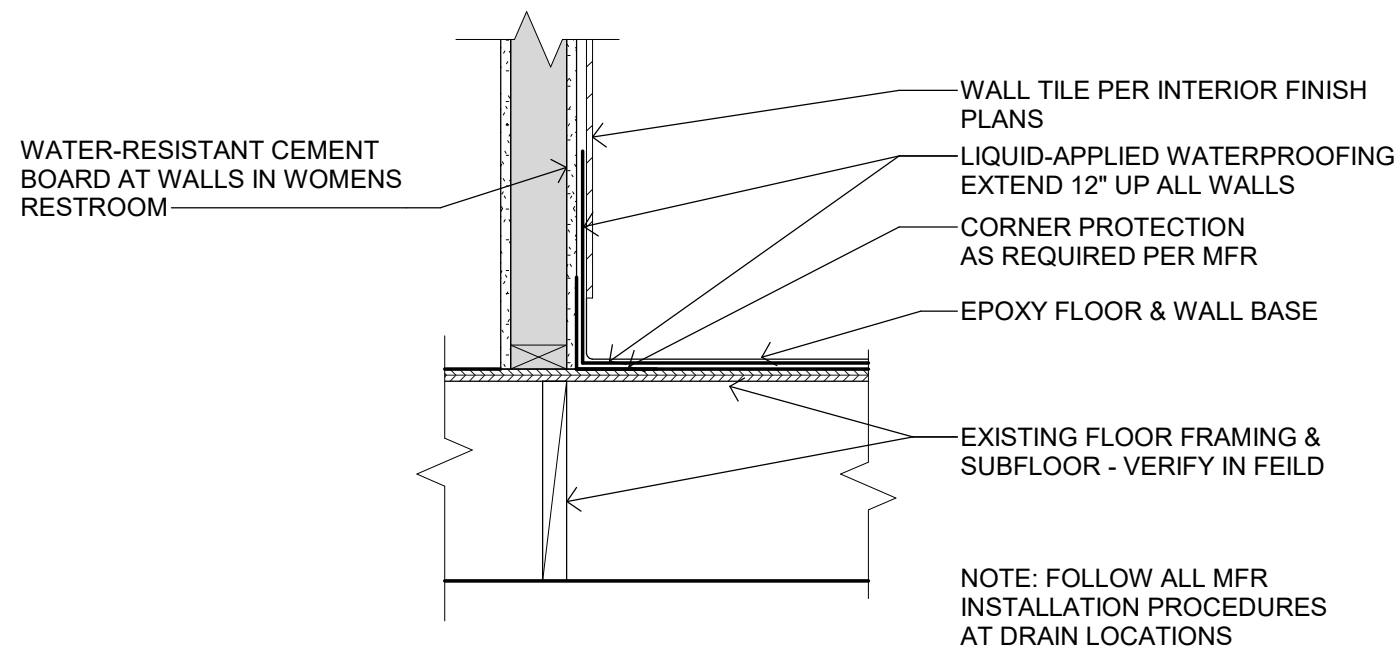
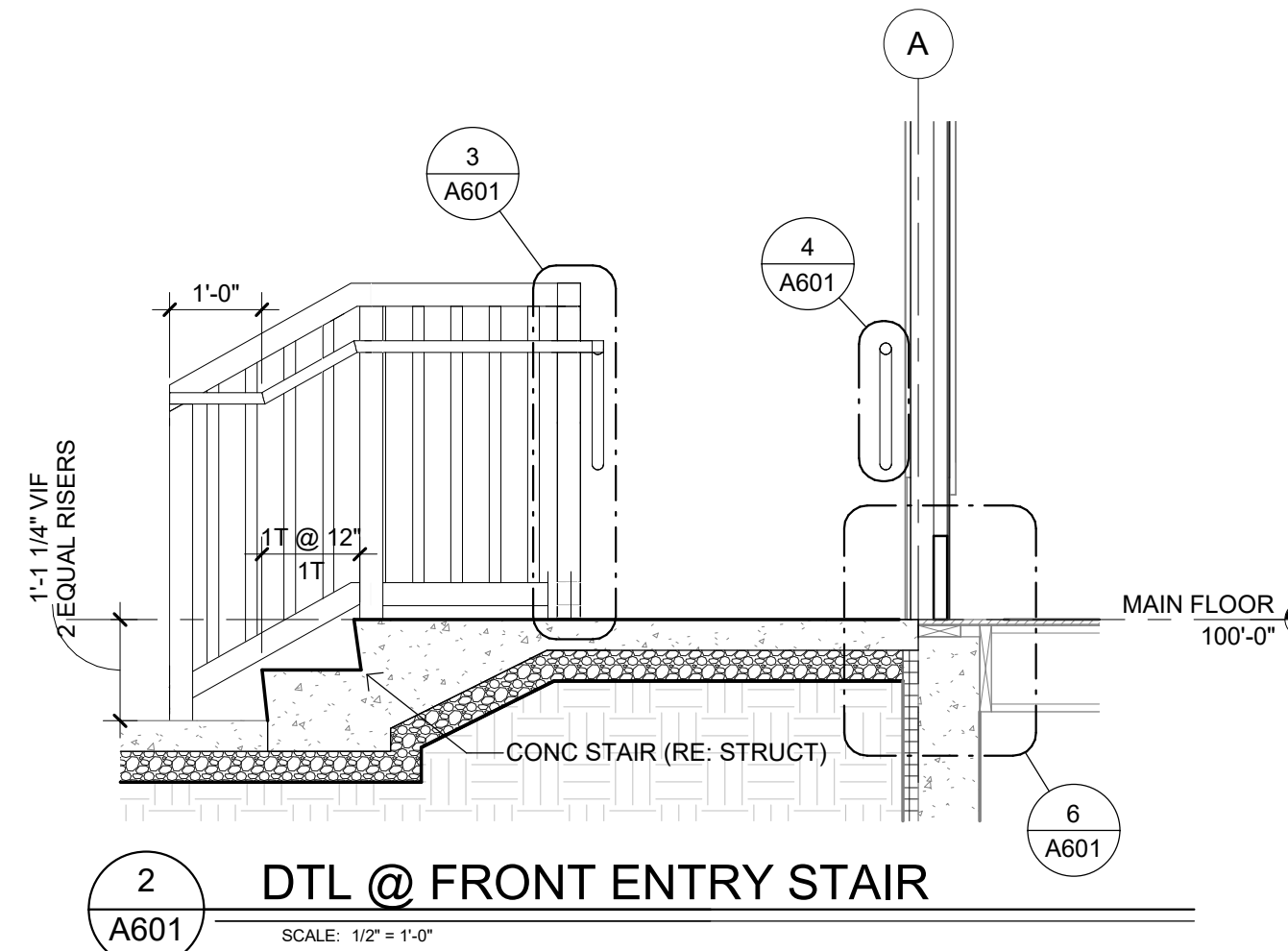
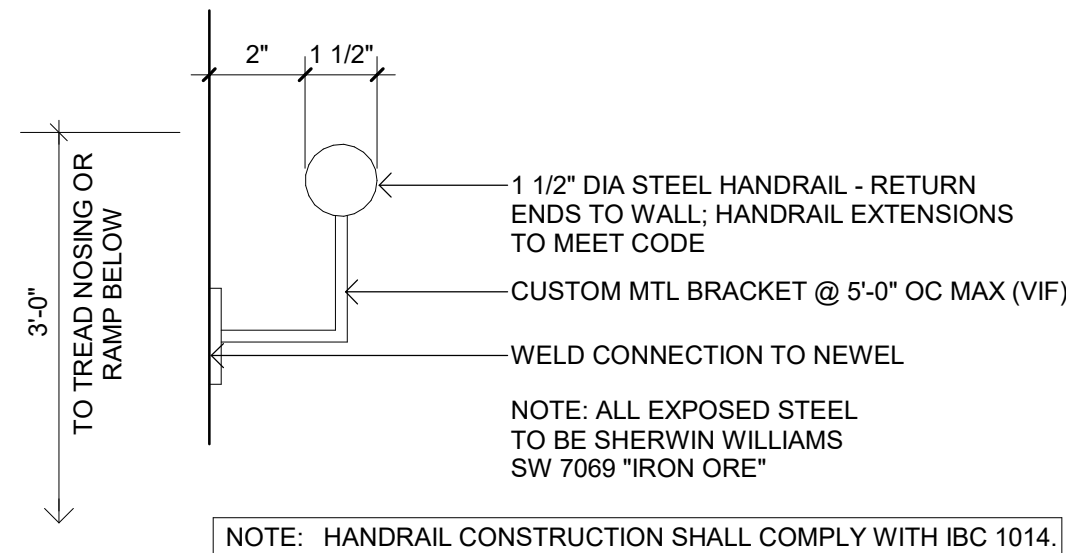
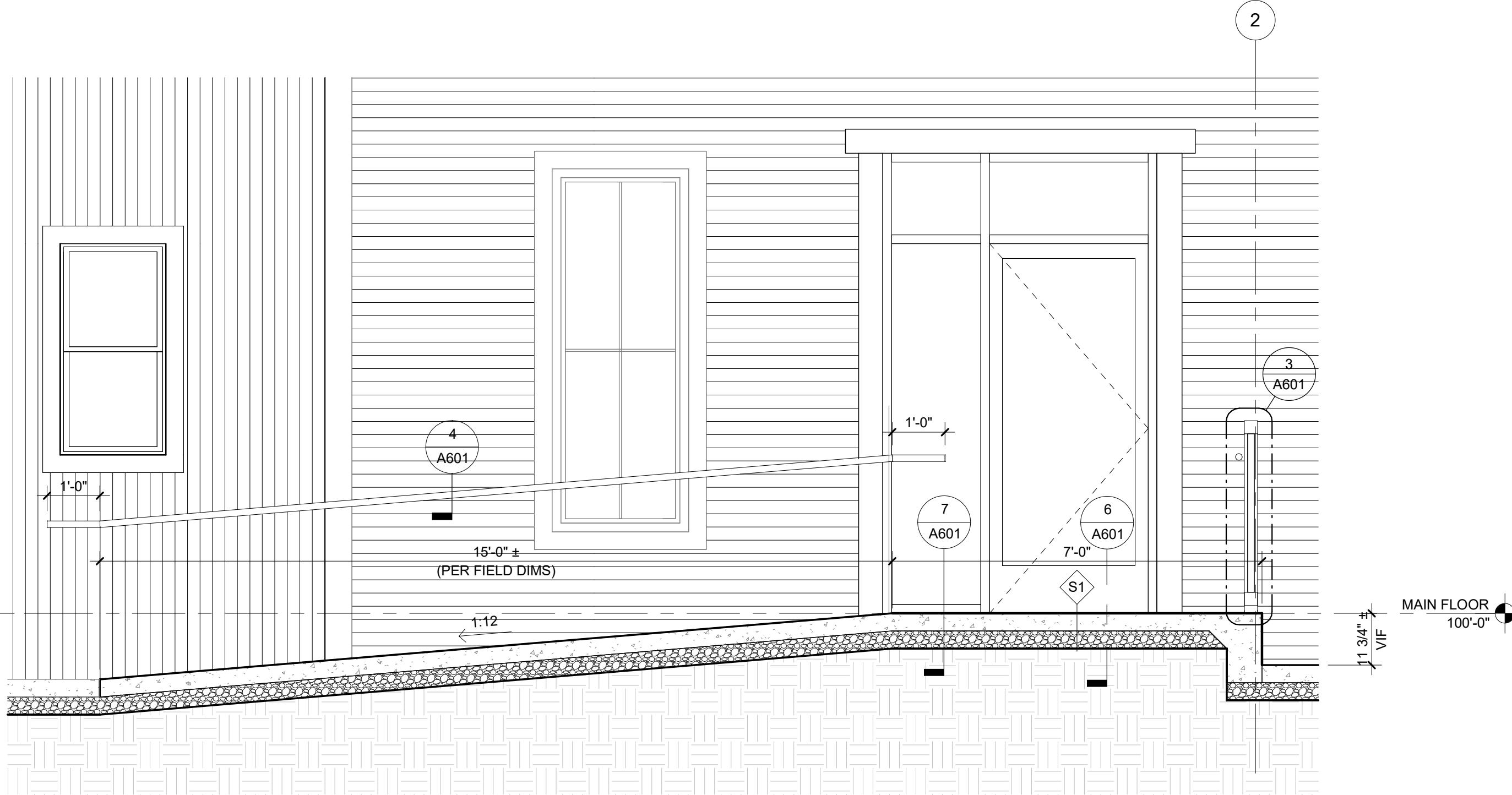
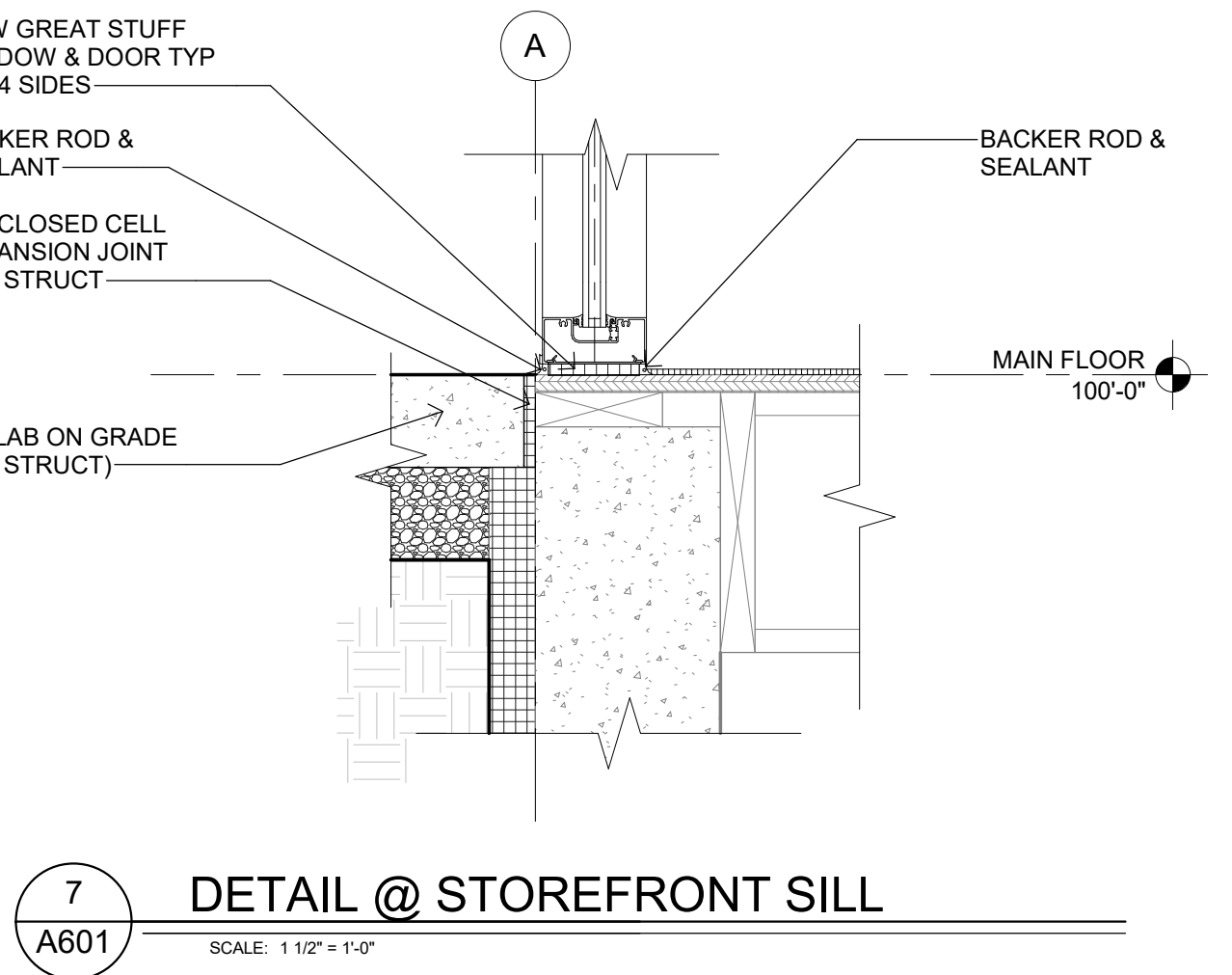
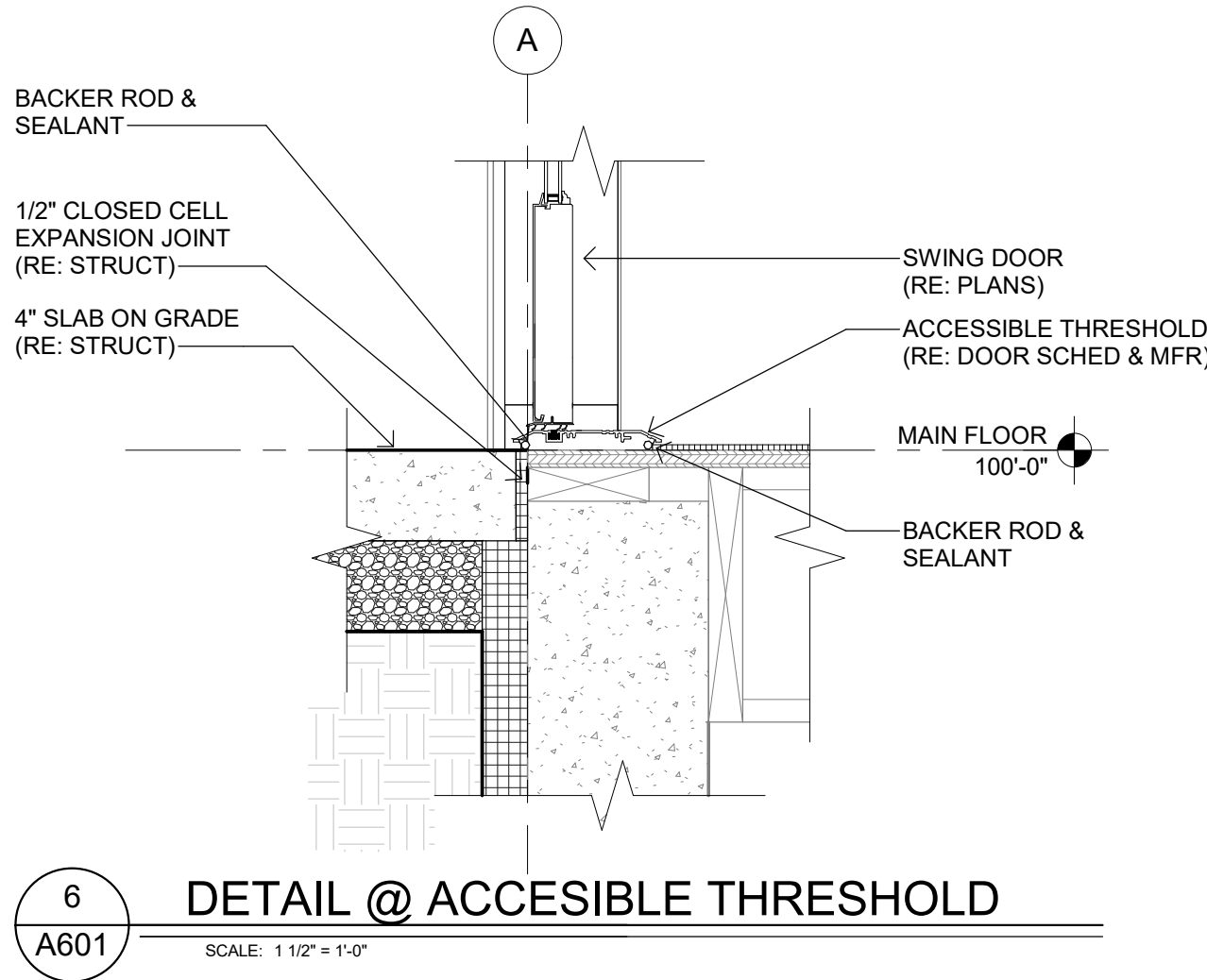
EXTERIOR  
PERSPECTIVES

**draft**

A311



2/2/2024 11:58:50 AM \\staisarchitects.com\share\users\nick\Documents\TOP Info Center A&A R23\_ind&ZLPQ.rvt



drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024



FINISH PLAN NOTES

1. THE GENERAL PROVISIONS OF THE CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SECTIONS GOVERN AND ARE HEREBY MADE PART OF THESE SECTION OF THE CONTRACT DOCUMENTS.
2. REFER TO CONSTRUCTION PLANS FOR FINISH FLOOR ELEVATIONS, WALL TYPES, DIMENSIONS, DOOR AND WINDOW TAGS.
3. REFER TO TYPICAL UNIT PLAN SHEETS FOR ALL CONDITIONS, FURNISHINGS, FIXTURES AND EQUIPMENT WITHIN DWELLING UNITS. ATYPICAL CONDITIONS ARE SHOWN ON 1/8" SCALE FINISH PLANS.
4. REFER TO REFLECTED CEILING PLANS FOR SOFFIT LOCATIONS.
5. TV AND PHONE SYSTEMS: PROVIDE WIRING AND CONNECTION ONLY; EQUIPMENT TO BE FURNISHED AND INSTALLED BY OWNER.

FINISH PLAN KEY NOTES

- <1> FLOORING MATERIAL TRANSITION

<2> PROVIDE DATA/ PHONE JACK PER OWNER

<3> MECH CLOSET

<4> ELECTRICAL PANEL

<5> FINISHED END PANEL AT CABINETY

<6> PROVIDE 5'-0" MIN CLEAR ADA TURNING DIAMETER @ THIS AREA

<7> PROVIDE 3" GROMMET @ COUNTER

<8> BABY CHANGING STATION

<9> PUBLIC DRINKING FOUNTAINS w/ WATER DISPENSER

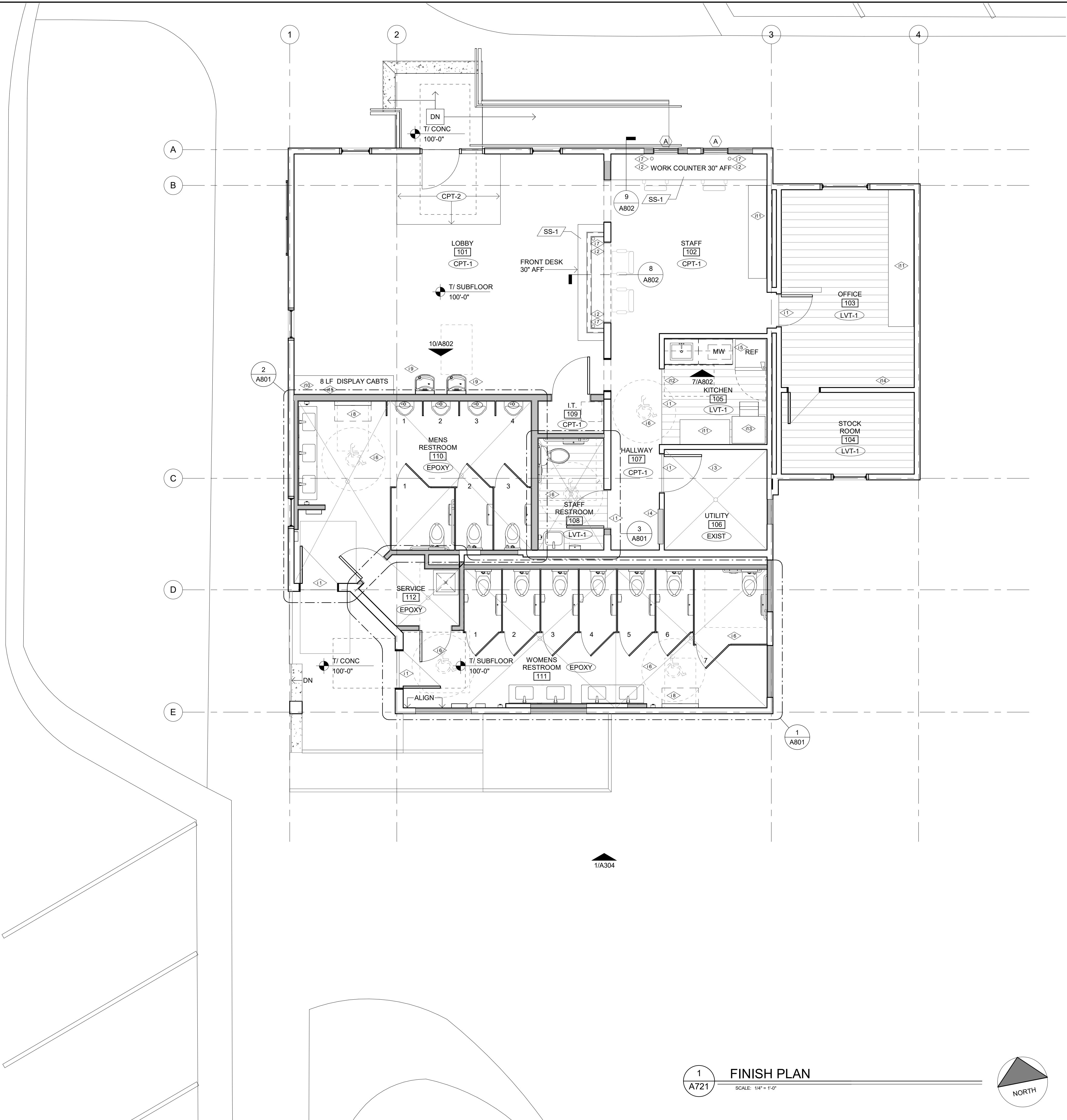
<10> (2) WADDELL HERITAGE SERIES 891M SERIES SLIDING GLASS DOOR HARDWARE FLOOR DISPLAY CASE - 48" W x 70" H x 18" D

<11> STORAGE CABINETS/ SHELVING PER OWNER

<12> ADA SIDE APPROACH PER CODE

<13> 36" WIDE RECESS FOR BREAK AREA - (FURNITURE BY OWNER)
- <14> EXISTING DATA/ PHONE JACK TO REMAIN

<15> RELOCATE EXISTING DATA JACK & RECEPTICLE TO NEW WALL - COORDINATE FINAL LOCATION WITH OWNER



old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

FINISH PLAN

draft

A721



FINISH LEGEND

KEY	MANUFACTURER/ DESCRIPTION	
AC-1	TP DISPENSER MANUFACTURER: BOBRICK DESCRIPTION: TWIN JUMBO ROLL #B-2892	SIZE: 11 3/8" H x 20 13/16" W x 5 5/16" D COLOR: STAINLESS STEEL w/ SATIN FINISH INSTALL: SURFACE MOUNT
AC-2	FEMININE HYGIENE RECEPTACLE MANUFACTURER: BOBRICK DESCRIPTION: SANITARY DISPOSAL #B-270	SIZE: 10" H x 7 1/2" W x 3 13/16" D COLOR: STAINLESS STEEL w/ SATIN FINISH INSTALL: SURFACE MOUNT
AC-3	PAPER TOWEL DISPENSER MANUFACTURER: BOBRICK DESCRIPTION: #B-4262	SIZE: 13 1/2" H 10 13/16" W x 4 7/8" D COLOR: STAINLESS STEEL w/ SATIN FINISH INSTALL: SURFACE MOUNT
AC-4	ADA GRAB BAR w/ SNAP FLANGE MANUFACTURER: BOBRICK DESCRIPTION: #B-6806 SERIES	SIZE: PER ADA REQUIREMENTS COLOR: SATIN FINISH INSTALL: PER ADA REQUIREMENTS
AC-5	TOILET SEAT PAPER COVER DISPENSER MANUFACTURER: BOBRICK DESCRIPTION: CLASSIC SERIES #B-221	SIZE: 15 3/4" W x 11" H x 2" D COLOR: STAINLESS STEEL w/ SATIN FINISH INSTALL: SURFACE MOUNTED
AC-6	SOAP DISPENSER MANUFACTURER: BOBRICK DESCRIPTION: CLASSIC SERIES #B-2111	SIZE: 4 3/8" H x 8 1/8" W COLOR: STAINLESS w/ SATIN FINISH INSTALL: SURFACE MOUNTED
AC-7	HAND DRYER MANUFACTURER: DYSON DESCRIPTION: AIRBLADE V #HU02 LOW VOLT	SIZE: 15 1/2" H x 9 1/4" W x 4" D COLOR: SPRAY NICKEL INSTALL: SURFACE MOUNT
AC-8	BABY CHANGING STATION MANUFACTURER: KOALA KARE PRODUCTS DESCRIPTION: #KB110-SSWM	SIZE: 20" H x 35 1/4" W x 4" D COLOR: STAINLESS STEEL INSTALL: HORIZONTAL WALL MOUNT
AC-9	RECESSED TRASH CAN MANUFACTURER: BOBRICK DESCRIPTION: #B-3644	SIZE: 28 5/8" H x 15 3/16" W x 4" D COLOR: STAINLESS STEEL w/ SATIN FINISH INSTALL: RECESSED PER MFR SPECS
EPOXY	EPOXY FLOOR FINISH AND 4" TALL COVE BASE (BATHROOM) MANUFACTURER: SHERWIN WILLIAMS DESCRIPTION: DECO FLAKE HIGH PERFORMANCE FLOORING	
EQ-1	REFRIGERATOR MANUFACTURER: MAYTAG DESCRIPTION: TOP FREEZER REFRIGERATOR #MRT311FFZ & ADA COMPLIANT	SIZE: 66 5/16" H x 32 1/2" W x 30 5/8" D COLOR: STAINLESS STEEL INSTALL: HORIZONTAL WALL MOUNT
EQ-2	MICROWAVE MANUFACTURER: PROVIDED BY OWNER DESCRIPTION: PROVIDED BY OWNER	
EQ-3	BATHROOM STALLS MANUFACTURER: BRADLEY DESCRIPTION: 700 SERIES PARTITIONS w/ HOOKS ON DOORS	SIZE: FLOOR TO CEILING COLOR: STAINLESS STEEL (MATCH EQ-4)
EQ-4	URINAL SCREENS MANUFACTURER: BRADLEY DESCRIPTION: 300 SERIES	SIZE: COLOR: STAINLESS STEEL w/ #4 SATIN FINISH INSTALL: WALL HUNG w/ STIRRUP 2 EAR BRKT
FRP-1	WALL PROTECTION / SERVICE ROOM MANUFACTURER: NUDO FINISH: FIBERLITE FRP WALL PANELS	SIZE: 4' H x 8' W COLOR: WHITE (151) / SMOOTH FINISH INSTALL: WALLS UP TO 4' AFF
GL-1	MIRROR (STAFF RESTROOM) MANUFACTURER: DESCRIPTION: METAL FRAME	SIZE: 30" H x 18" W COLOR: CLEAR INSTALL: SURFACE MOUNT
GL-2	MIRROR (FAMILY RESTROOM) MANUFACTURER: DESCRIPTION: METAL FRAME	SIZE: PER ELEVATIONS COLOR: CLEAR INSTALL: SURFACE MOUNT
GL-3	MIRROR (WOMEN'S RESTROOM) MANUFACTURER: DESCRIPTION: METAL FRAME	SIZE: PER ELEVATIONS COLOR: CLEAR INSTALL: SURFACE MOUNT
GL-4	MIRROR (MEN'S RESTROOM) MANUFACTURER: DESCRIPTION: METAL FRAME	SIZE: PER ELEVATIONS COLOR: CLEAR INSTALL: SURFACE MOUNT
HW-1	CABINET HARDWARE (KITCHEN) MANUFACTURER: AMEROCK DESCRIPTION: MONUMENT SERIES	FINISH: 5" CTO C INSTALL: VERTICAL ON DOORS; CENTER ON DRAWERS (HORIZONTAL)
HW-2	DOOR HARDWARE (REFER TO SHEET A300/ DOOR SCHEDULE)	
PF-1	WALL MOUNTED COUNTER TOP SINK (WOMEN'S RESTROOM) MANUFACTURER: SLOAN DESCRIPTION: SLOAN STONE SINK #ELC-8200, DUAL STATION	
PF-2	HARD WIRED FAUCET MANUFACTURER: SLOAN DESCRIPTION: OPTIMA SENSOR FAUCET #33656023BT	COLOR: POLISHED CHROME
PF-3	WALL MOUNTED COUNTER TOP SINK (MEN'S RESTROOM) MANUFACTURER: SLOAN DESCRIPTION: SLOAN STONE SINK #ELC-8300, 3-STATION	COLOR: MATRIX DARK BLUE
PF-4	WALL MOUNTED LAVATORY (STAFF RESTROOM) MANUFACTURER: SLOAN DESCRIPTION: SINGLE #SS-3106 w/ WALL HUNG LEDGE BLOCK LAVATORY SHROUD	COLOR: WHITE
PF-5	SINGLE BOWL UNDERMOUNT BAR SINK w/ DISPOSAL (KITCHEN) MANUFACTURER: DAYTON DESCRIPTION: #DXUH1210, UNDERMOUNT w/ 1/8" OVERHANG ADD DISPOSAL w/ SWITCH	COLOR: STAINLESS STEEL
PF-6	PULL DOWN KITCHEN FAUCET MANUFACTURER: AMERICAN STANDARD DESCRIPTION: BEALE #4931.300	COLOR: POLISHED CHROME
PF-7	PUBLIC DRINKING FOUNTAINS w/ WATER DISPENSER MANUFACTURER: ELKAY DESCRIPTION: LZS8WSVRLK	COLOR: LIGHT GRAY GRANITE
PF-8	TOILETS (WALL HUNG) MANUFACTURER: KOHLER DESCRIPTION: KINGSTON ULTRA #K-84325	COLOR: WHITE FLUSHOMETER: MOEN #8311AC12 CHROME-PLATED
PF-9	URINALS MANUFACTURER: KOHLER DESCRIPTION: WASHOUT URINAL #20713-ET	COLOR: WHITE FLUSHOMETER: MOEN #8311AC12 CHROME-PLATED
PF-10	MOLDED STONE MOP SERVICE BASIN MANUFACTURER: FIAT PRODUCTS DESCRIPTION: #MSB-2424	SIZE: 10" H x 24" W x 24"D COLOR: WHITE
PF-11	SERVICE FAUCET/ HOSE & HOSE BRACKET MANUFACTURER: FIAT PRODUCTS DESCRIPTION: #830AA / #832AA	COLOR: CHROME
PF-12	FLOOR DRAIN COVER MANUFACTURER: ZURN DESCRIPTION: #Z4155-CP, TYPE "S" STRAINER/ PLATE FINISH	COLOR: CHROME
PF-13	TOILET (STAFF BATHROOM) MANUFACTURER: KOHLER DESCRIPTION: KINGSTON COMFORT HEIGHT #K-26077, TWO PIECE ELONGATED	COLOR: WHITE

FINISH ABBREVIATIONS

AC	ACCESSORIES
B	BASE
CPT	CARPET
CONC	CONCRETE
EQ	EQUIPMENT
GL	GLASS/ MIRROR
HW	HARDWARE
LVT	LUXURY VINYL TILE
MW	MILLWORK
PT	PAINT
PL	PLASTIC LAMINATE
PF	PLUMBING FIXTURE
SF	SPECIALTY FINISH
SS	SOLID SURFACE
TL	PORCELAIN TILE
WD	WOOD
EPOXY	FLOORING/ BASE FINISH
FRP	FIBER REINFORCED PLASTIC

KEY	MANUFACTURER/ DESCRIPTION	
SS-1	FRONT DESK/ WORK COUNTER MANUFACTURER: TBD DESCRIPTION: CLEAR ADLER, SQUARE EASED EDGES	COLOR: MATCH MW-1
SS-2	KITCHEN COUNTERTOP/ BACKSPASH MANUFACTURER: CORIAN SLASH DESCRIPTION: 2 CM PROFILE, SQUARE EASED EDGE, 2 CM BACKSPASH & SIDE 4" TALL	COLOR: DEEP SPACE
TL-1	WAINSCOT TILE MANUFACTURER: DEL CONCA USA FINISH: NATURE COLLECTION - POLISH EDGES @ TOP OF WAINSCOT & EDGES	SIZE: 24" x48" COLOR: FIOR DI BOSCO
LVT-1	LVT MANUFACTURER: CARPET DESCRIPTION: BROOKSCHOOL PARK LVT CONTACT: HOLLY GRAVES @ RUGG BENEDICT #970-306-6214	WIDTH: 7.25" COLOR: BROOKSCHOOL
LVT-2	LVT COVE BASE @ LVT FLOORING MANUFACTURER: ROPPE DESCRIPTION: WALL BASE PINNACLE 700 SERIES CONTACT: HOLLY GRAVES @ RUGG BENEDICT #970-306-6214	SIZE: 4" TALL COLOR: 187 BLUE
CPT-1	CARPET (LOBBY, STAFF, HALLWAY) MANUFACTURER: PHILADELPHIA COMMERCIAL DESCRIPTION: 24" x 24" TILES CONTACT: HOLLY GRAVES @ RUGG BENEDICT #970-306-6214	SERIES: AMAZE 54588 COLOR: BLOWN AWAY 00500 INSTALL: QUARTER TURN
CPT-2	WALK-OFF MATTS (INSET WITH CARPET) MANUFACTURER: CORE ELEMENTS DESCRIPTION: STRIDE RIGHT HERE, 24" x 24" TILES CONTACT: HOLLY GRAVES @ RUGG BENEDICT #970-306-6214	COLOR: INDIGO INSTALL: QUARTER TURN; SEAM GLUE EDGES TO CPT-1
PT-1	WALL PAINT (DRYWALL) (LOBBY, STAFF, OFFICE, KITCHEN) MANUFACTURER: SHERWIN WILLIAMS	COLOR: ALABASTER #7008 FINISH: EGGSHELL
PT-2	CEILING PAINT (LOBBY, STAFF, OFFICE, KITCHEN) MANUFACTURER: SHERWIN WILLIAMS	COLOR: ALABASTER #7008 FINISH: FLAT
PT-3	WINDOW WOOD TRIM PAINT (LOBBY, STAFF, OFFICE, KITCHEN) MANUFACTURER: SHERWIN WILLIAMS	COLOR: ALABASTER #7008 FINISH: EGGSHELL
PT-4	EXISTING WOOD WAINSCOT PAINT (LOBBY, OFFICE) MANUFACTURER: SHERWIN WILLIAMS	COLOR: ALABASTER #7008 FINISH: EGGSHELL
PT-5	WALL / CEILING PAINT (SERVICE, IT, STOCK ROOM, UTILITY ROOM) MANUFACTURER: SHERWIN WILLIAMS WALL FINISH: EGGSHELL	COLOR: ALABASTER #7008 CEILING FINISH: FLAT
PT-6	CEILING PAINT (RESTROOMS) MANUFACTURER: SHERWIN WILLIAMS	COLOR: ALABASTER #7008 CEILING FINISH: FLAT
PT-7	WALL PAINT (RESTROOMS) MANUFACTURER: NEWMJAMIN MOORE	COLOR: NORMANDY #21290-40 WALL FINISH: SATIN
MW-1	WOOD 1x6 ALDER BASE/ CROWN MANUFACTURER: TBD DESCRIPTION: SQUARE EASED EDGES	COLOR: STAIN TO MATCH EXISTING - GC TO SUBMIT SAMPLES FOR SAI APPROVAL
MW-2	WOOD FRAME @ DOORS MANUFACTURER: TBD DESCRIPTION: CLEAR ALDER WOOD - 3x w/ EASED EDGE, MITER CORNERS	FINISH: MATCH MW-1
MW-3	BEADBOARD MFR: ARMSTRONG CEILING WOOD HAVEN DESCRIPTION: LOBBY CEILING & FRONT DESK APRON FACE	SIZE: 84" x 5" SHIPLAP FINISH: MATCH PT-2
MW-4	PAINT GRADE WOOD TRIM @ WINDOWS MANUFACTURER: TBD PER GC DESCRIPTION: 3x w/ EASED EDGE, MITER CORNERS	FINISH: MATCH PT-3
PL-1	KITCHEN CABINETS/ MELAMINE MANUFACTURER: WILSONART DESCRIPTION: VERTICAL GRAIN DIRECTION FLAT @ ALL CABINETS AND DRAWERS, FLAT PANEL DOGRS	PRODUCT: PINNACLE WALNUT #7992-38 FINISH: FINE VELVET TEXTURE

STAISSARCHITECTURE & INTERIORS

409 east main street

p o box 4175

frisco . colorado 80443

970 453 0444



old town hall park & vic renovations	
300 east main street frisco . colorado	
PROJECT # 2129	
© COPYRIGHT AS AN UNPUBLISHED WORK, ANY REPRODUCTION OR REUSE WITHOUT WRITTEN CONSENT IS PROHIBITED.	
ISSUE:	
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

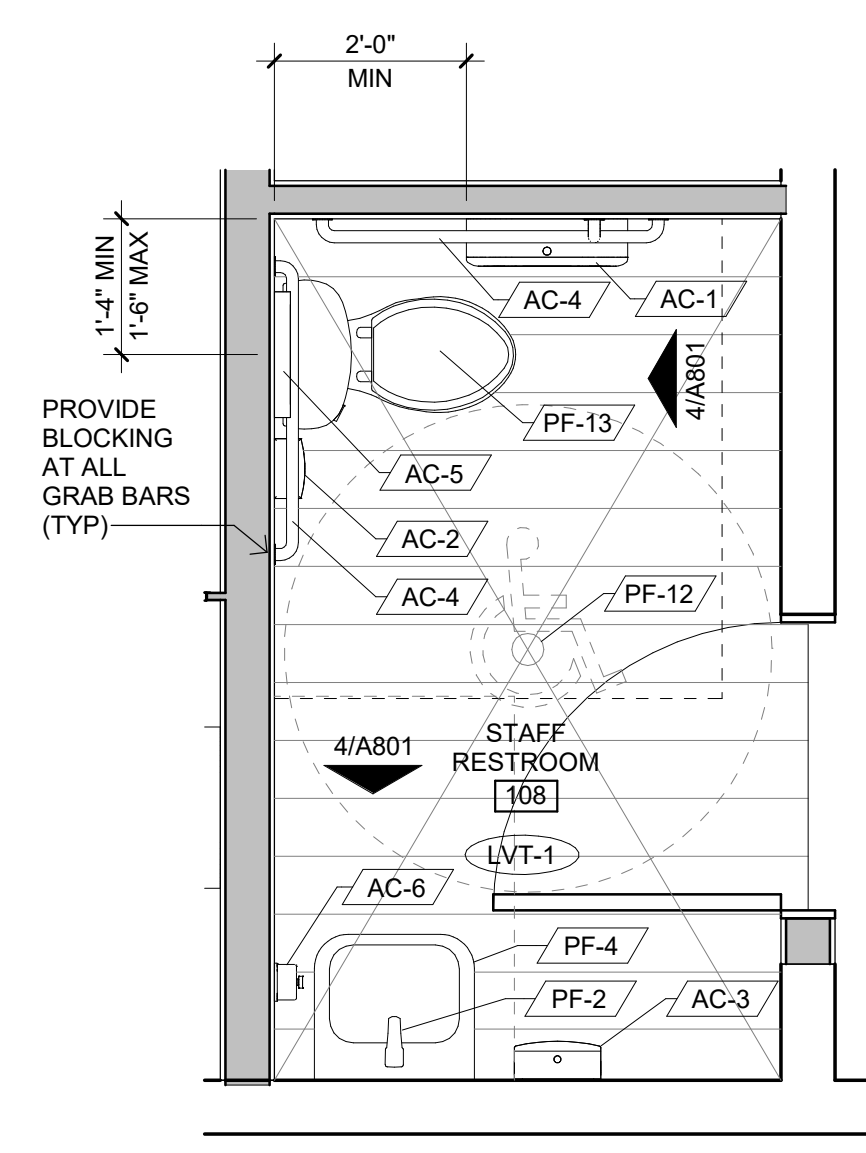
FINISH PLAN NOTES

draft

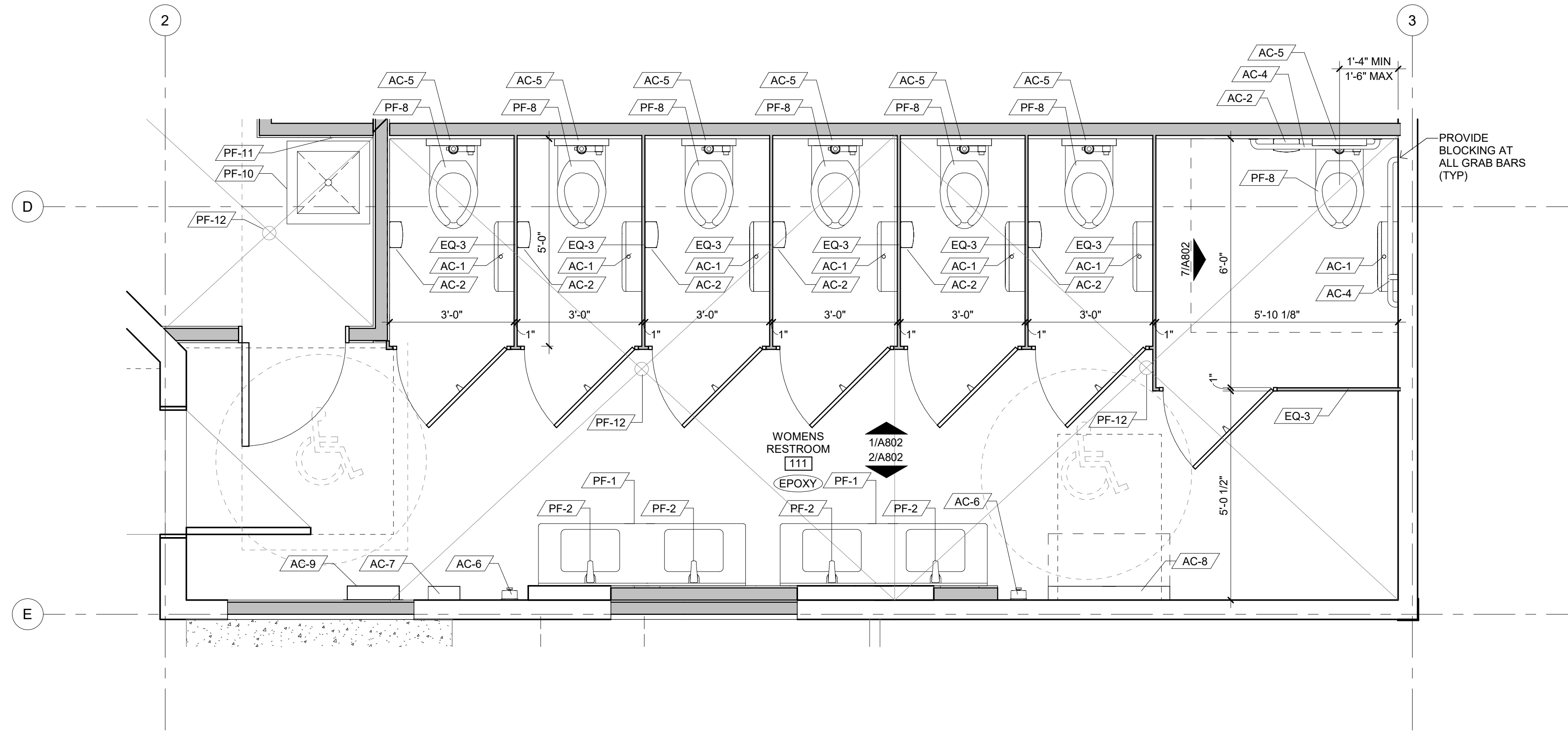
A722



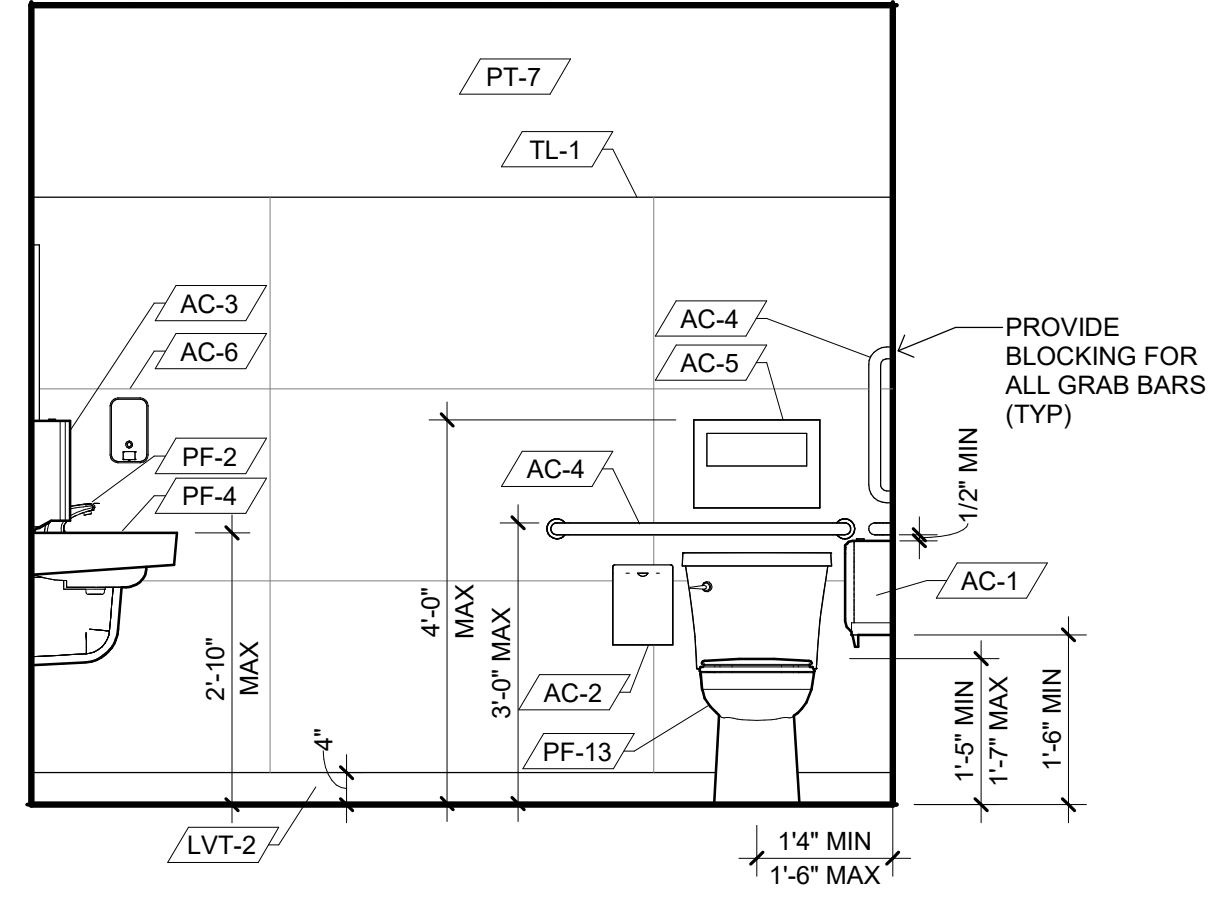
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024



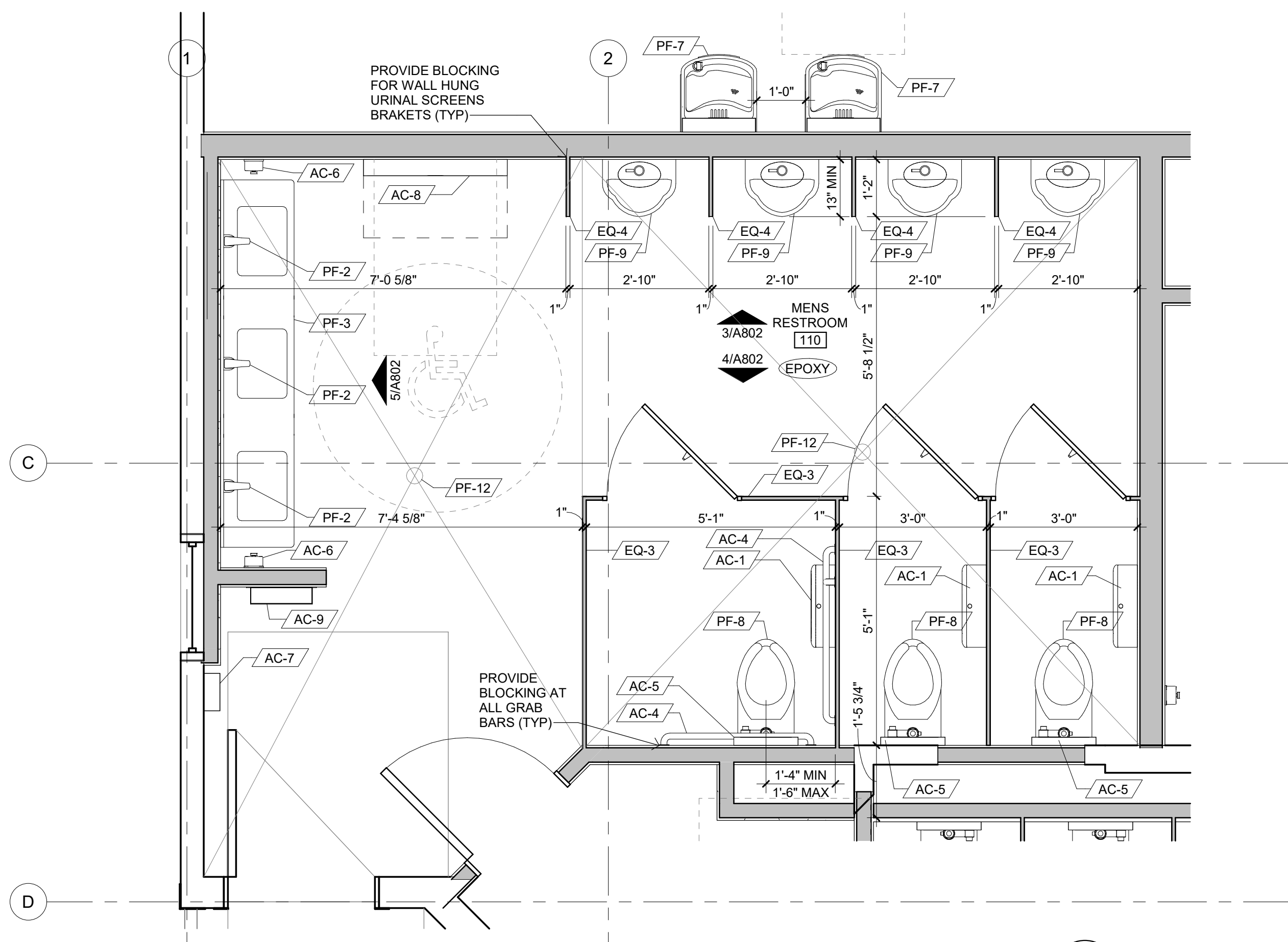
3 ENLARGED PLAN @ STAFF RESTROOM  
SCALE: 1/2" = 1'-0"



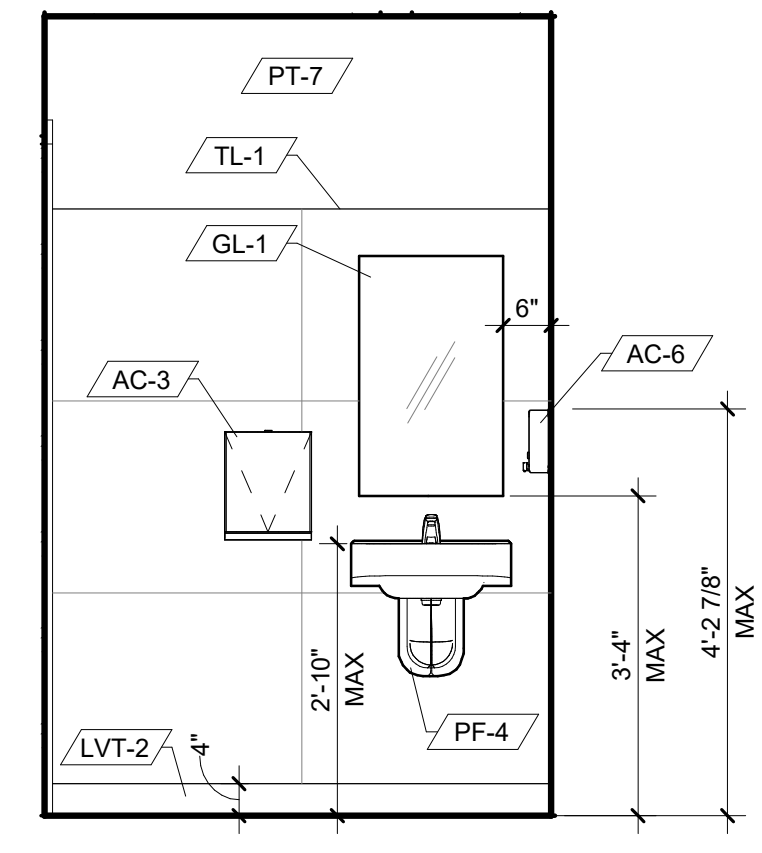
1 ENLARGED PLAN @ WOMENS RESTROOM  
SCALE: 1/2" = 1'-0"



4 STAFF RESTROOM - WEST ELEV  
SCALE: 1/2" = 1'-0"



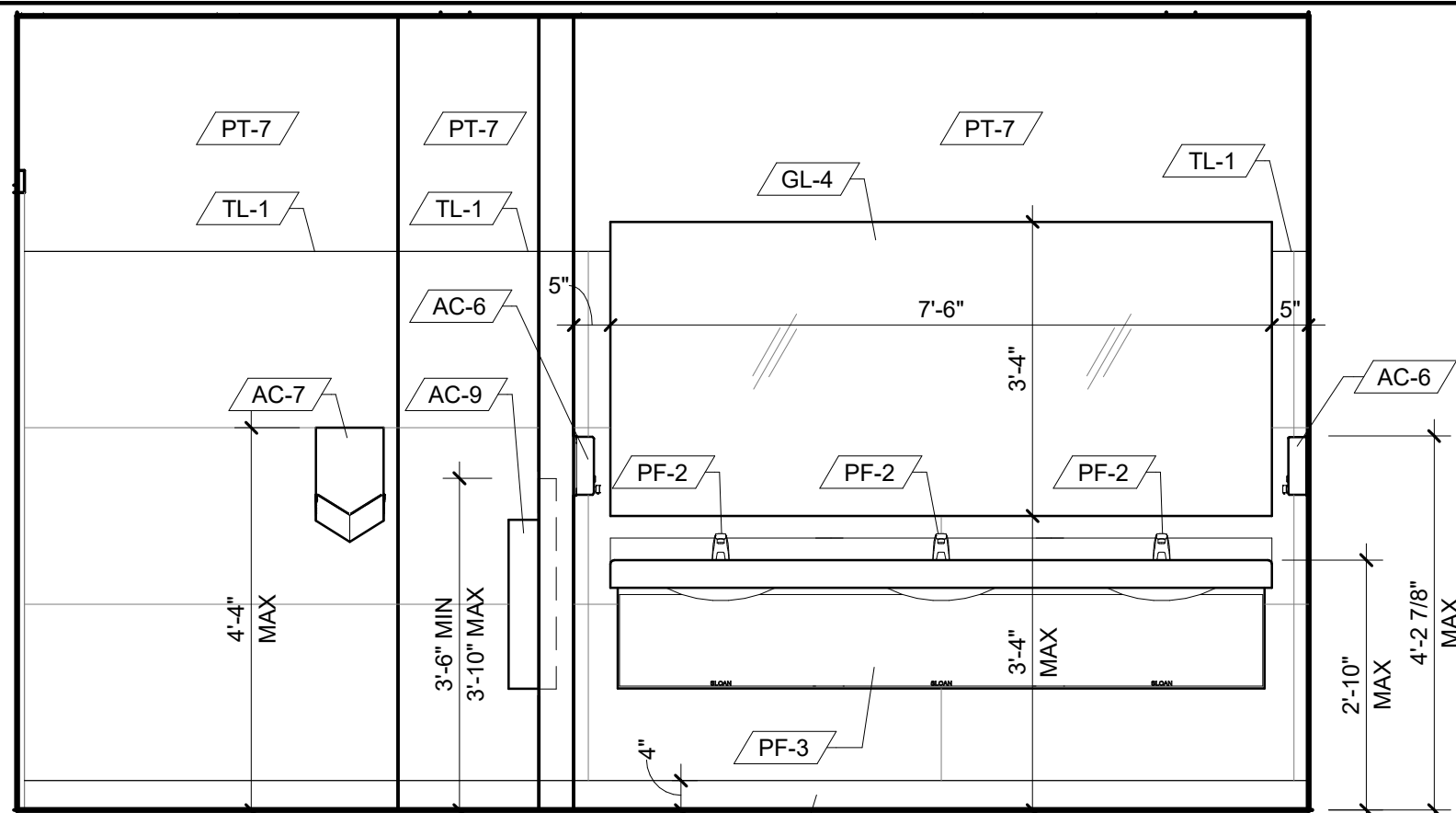
2 ENLARGED PLAN @ MENS RESTROOM  
SCALE: 1/2" = 1'-0"



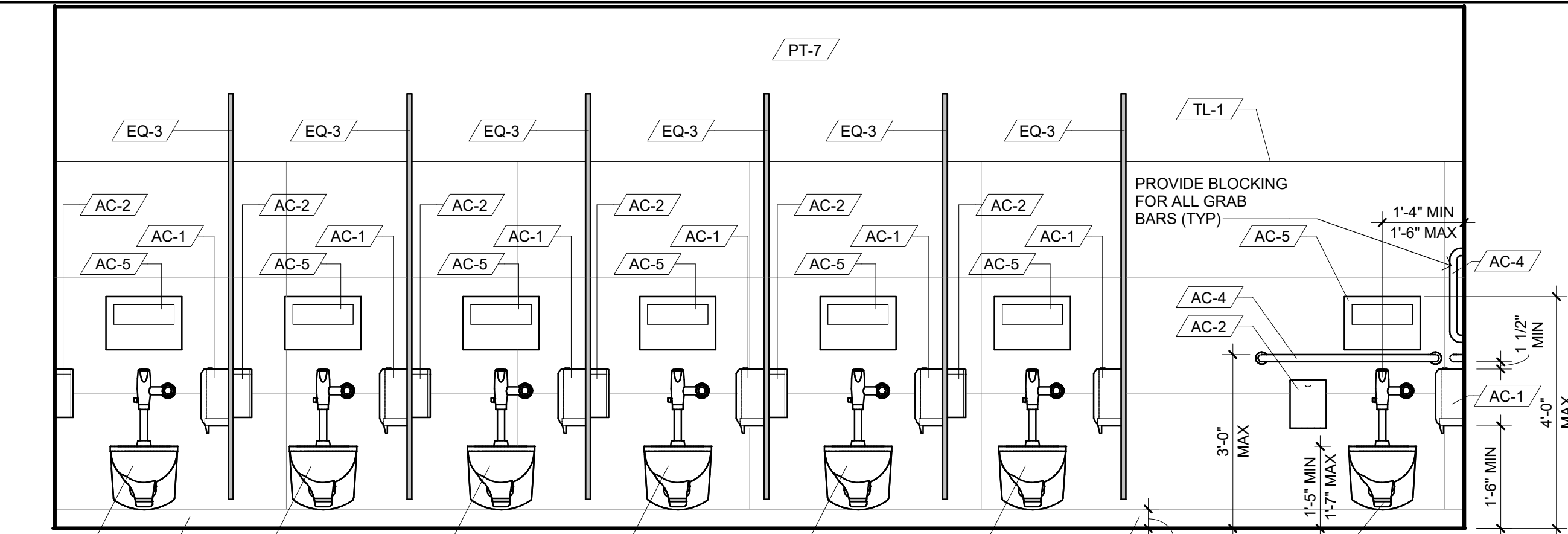
5 STAFF RESTROOM - SOUTH ELEV  
SCALE: 1/2" = 1'-0"



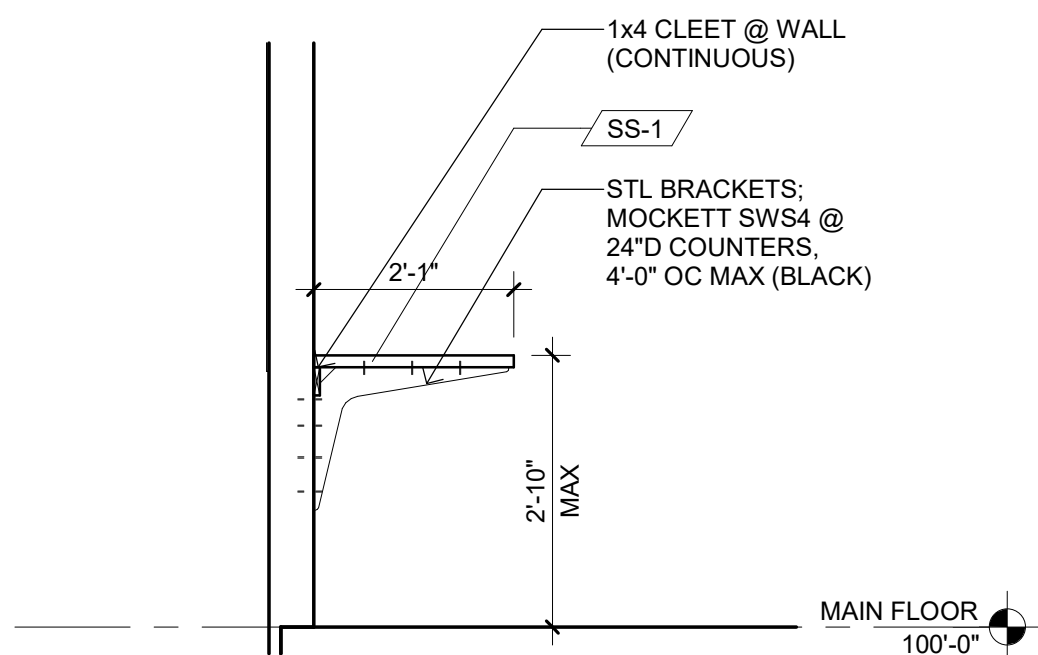
2/2/2024 11:58:52 AM \\stais\architects.com\share\users\nick\Documents\TOF Info Center A&A R23\_ind\ZSLPQ.rvt



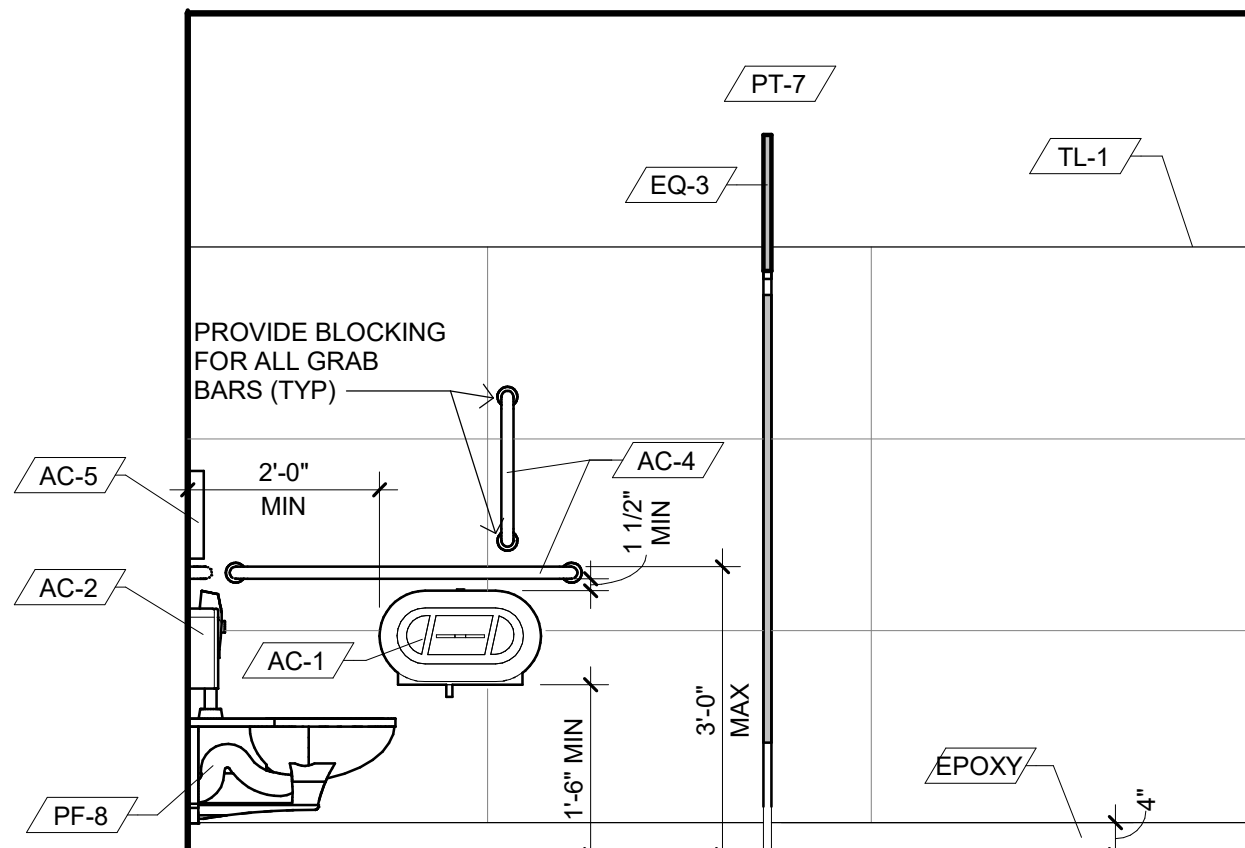
5 MENS RESTROOM - WEST ELEV  
A802 SCALE: 1/2" = 1'-0"



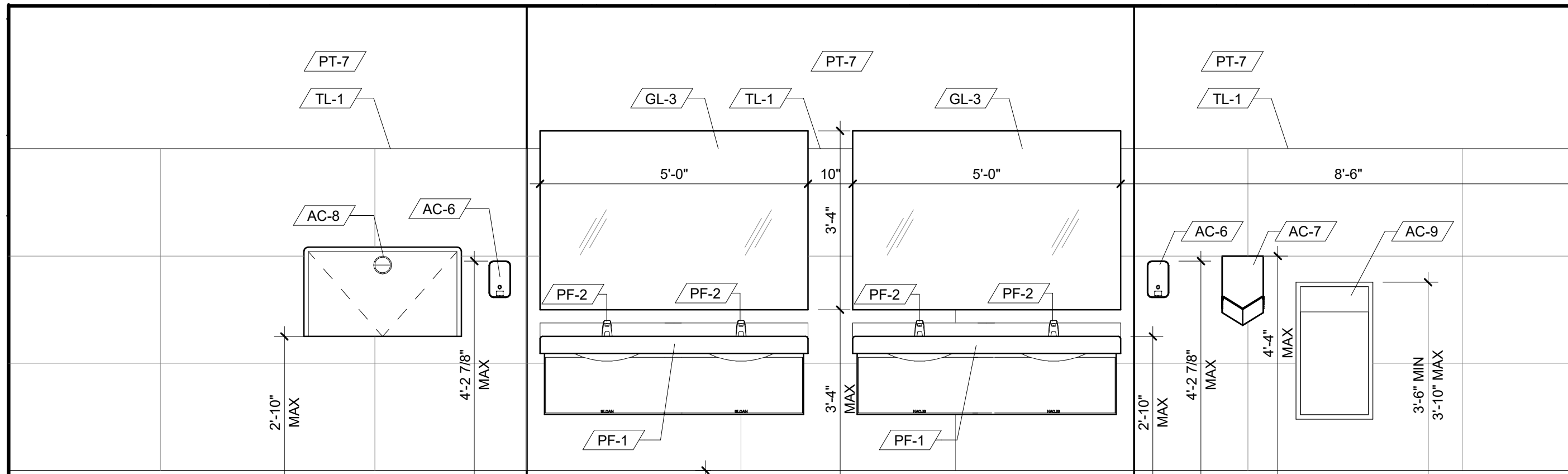
1 WOMENS RESTROOM - NORTH ELEV  
A802 SCALE: 1/2" = 1'-0"



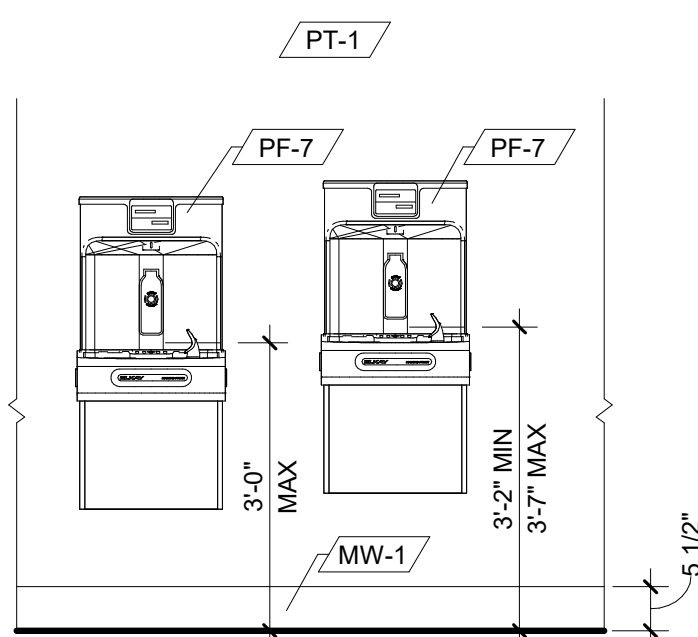
9 DETAIL @ WORK COUNTER  
A802 SCALE: 1/2" = 1'-0"



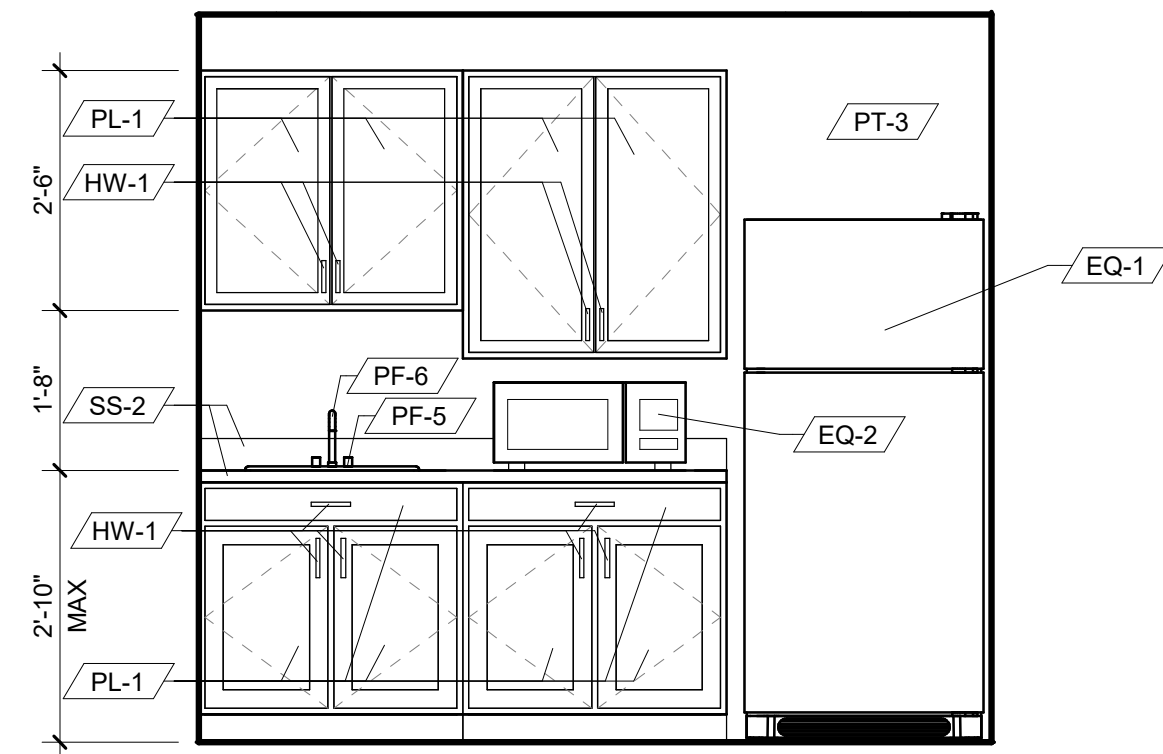
6 ACCESSIBLE STALL ELEVATION  
A802 SCALE: 1/2" = 1'-0"



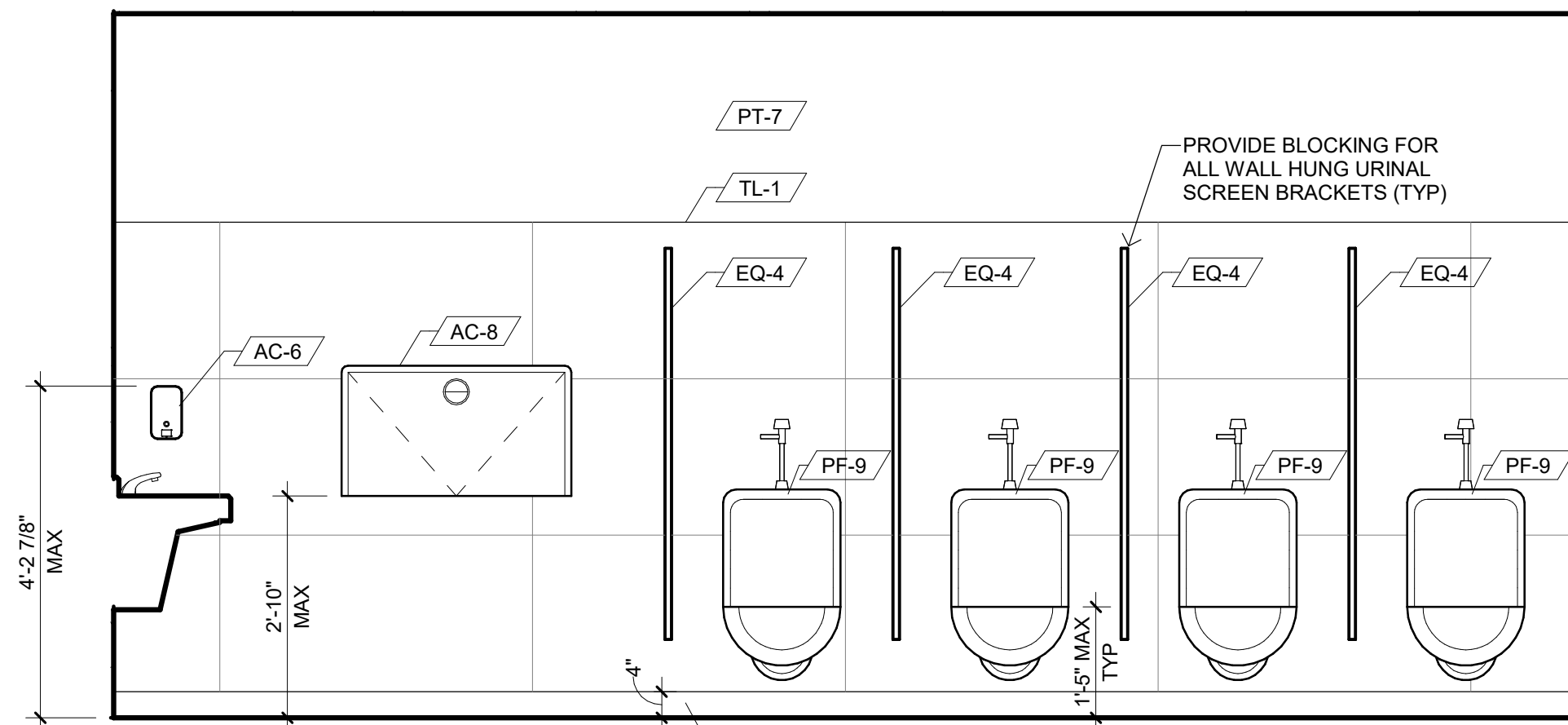
2 WOMENS RESTROOM - SOUTH ELEV  
A802 SCALE: 1/2" = 1'-0"



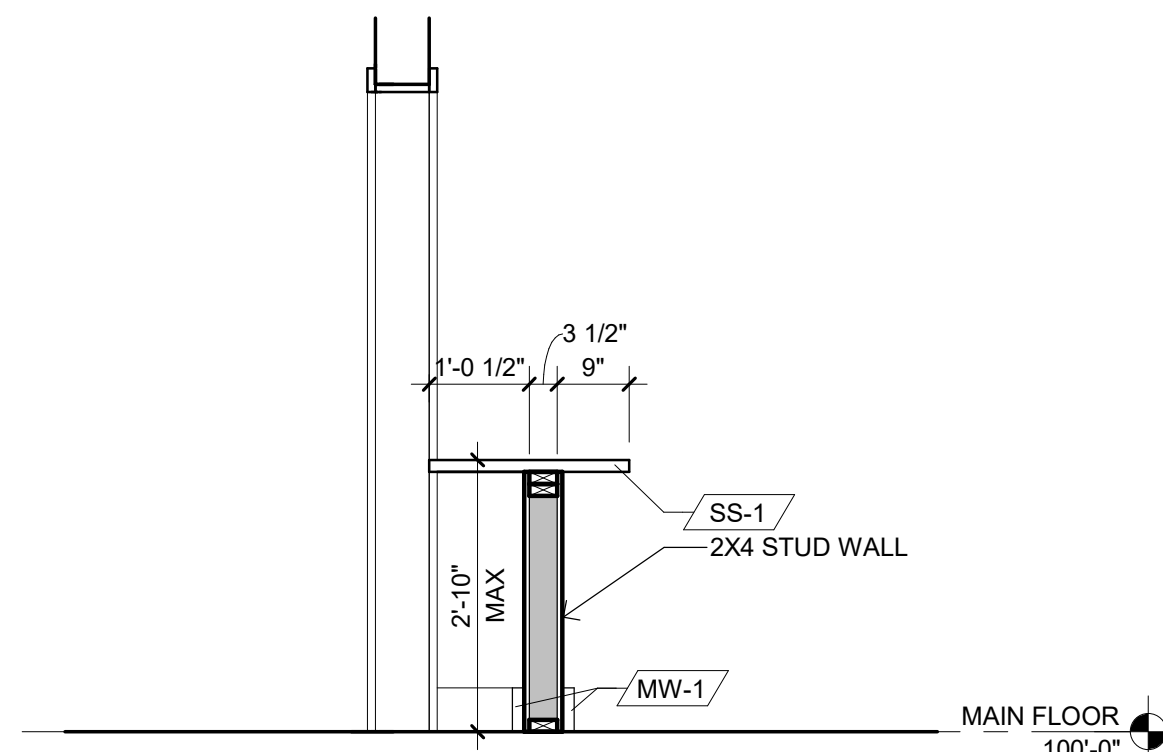
10 WATER FOUNTAINS ELEVATION  
A802 SCALE: 1/2" = 1'-0"



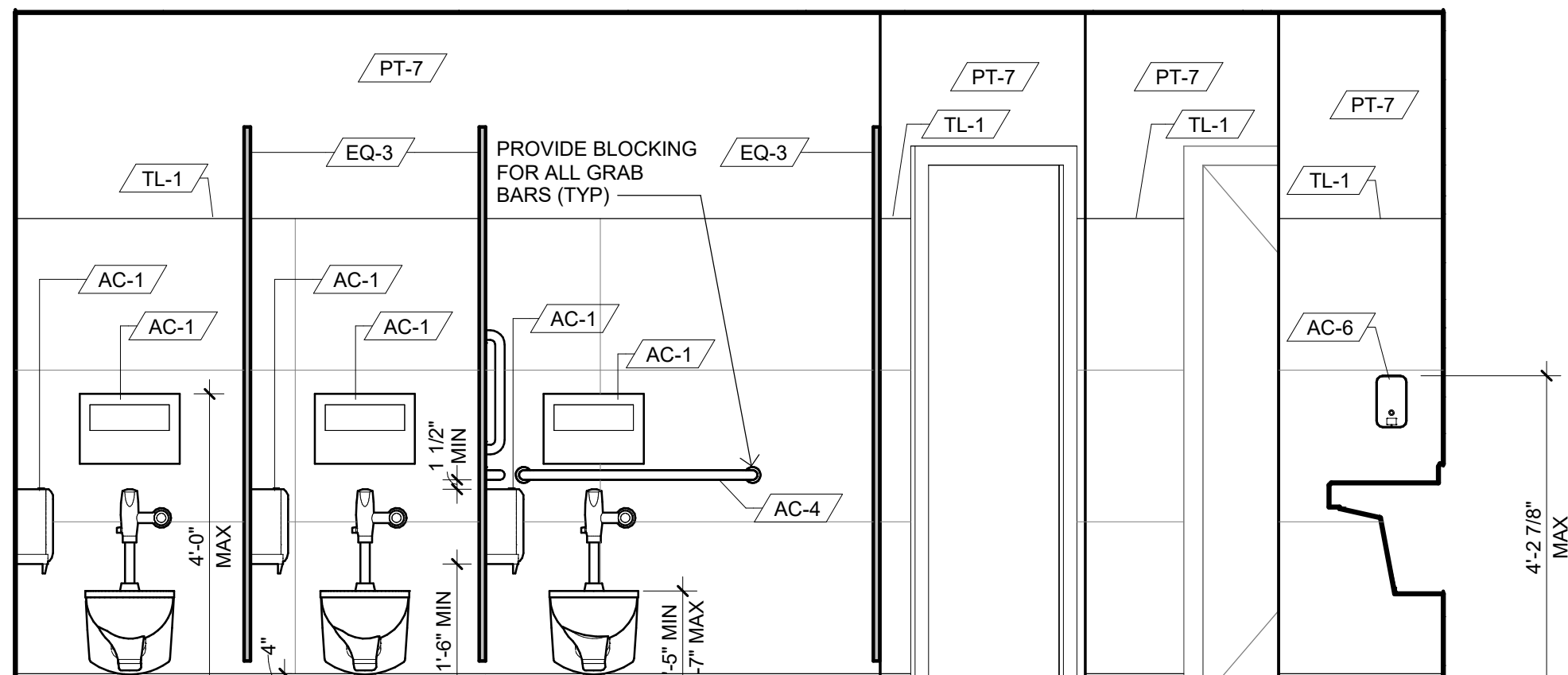
7 KITCHEN - NORTH ELEVATION  
A802 SCALE: 1/2" = 1'-0"



3 MENS RESTROOM - NORTH ELEV  
A802 SCALE: 1/2" = 1'-0"



8 DETAIL @ FRONT DESK  
A802 SCALE: 1/2" = 1'-0"



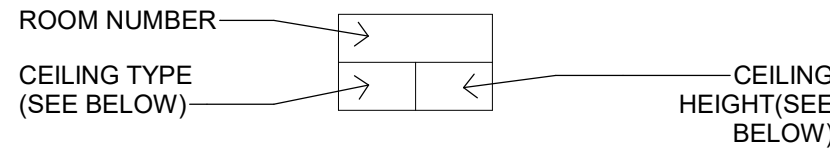
4 MENS RESTROOM - SOUTH ELEV  
A802 SCALE: 1/2" = 1'-0"

100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024



CEILING PLAN GENERAL NOTES

A) FINISH CODE TAGS CONTAIN THE FOLLOWING INFORMATION:



B) CEILING TYPES:

- 1) GWB = GYPSUM WALL BOARD
- 2) WD = EXISTING WOOD CEILING(TYP @ LOBBY)
- 3) SAT = EXISTING SUSPENDED ACOUSTICAL TILE (TYP @ STAFF AND KITCHEN)
- 4) BD = 1x6 BEAD BOARD W/ 4" CROWN MOLDING @ PERIMETER
- 5) T&G = 1x6 TONGUE AND GROOVE (TYP @ EXTERIOR SOFFITS & DECK CEILINGS)

C) CEILING HEIGHTS:

- 1) DIMENSIONS ARE TO BOTTOM OF CEILING FRAMING UNLESS OTHERWISE NOTED.
- 2) STR = TIGHT TO UNDERSIDE OF STRUCTURE ABOVE
- 3) OPEN = OPEN TO ABOVE
- 4) CLOSET CEILINGS SHALL MATCH CEILING TYPE OF ADJACENT ROOM UNLESS OTHERWISE NOTED.

D) LOCATION OF FIXTURES:

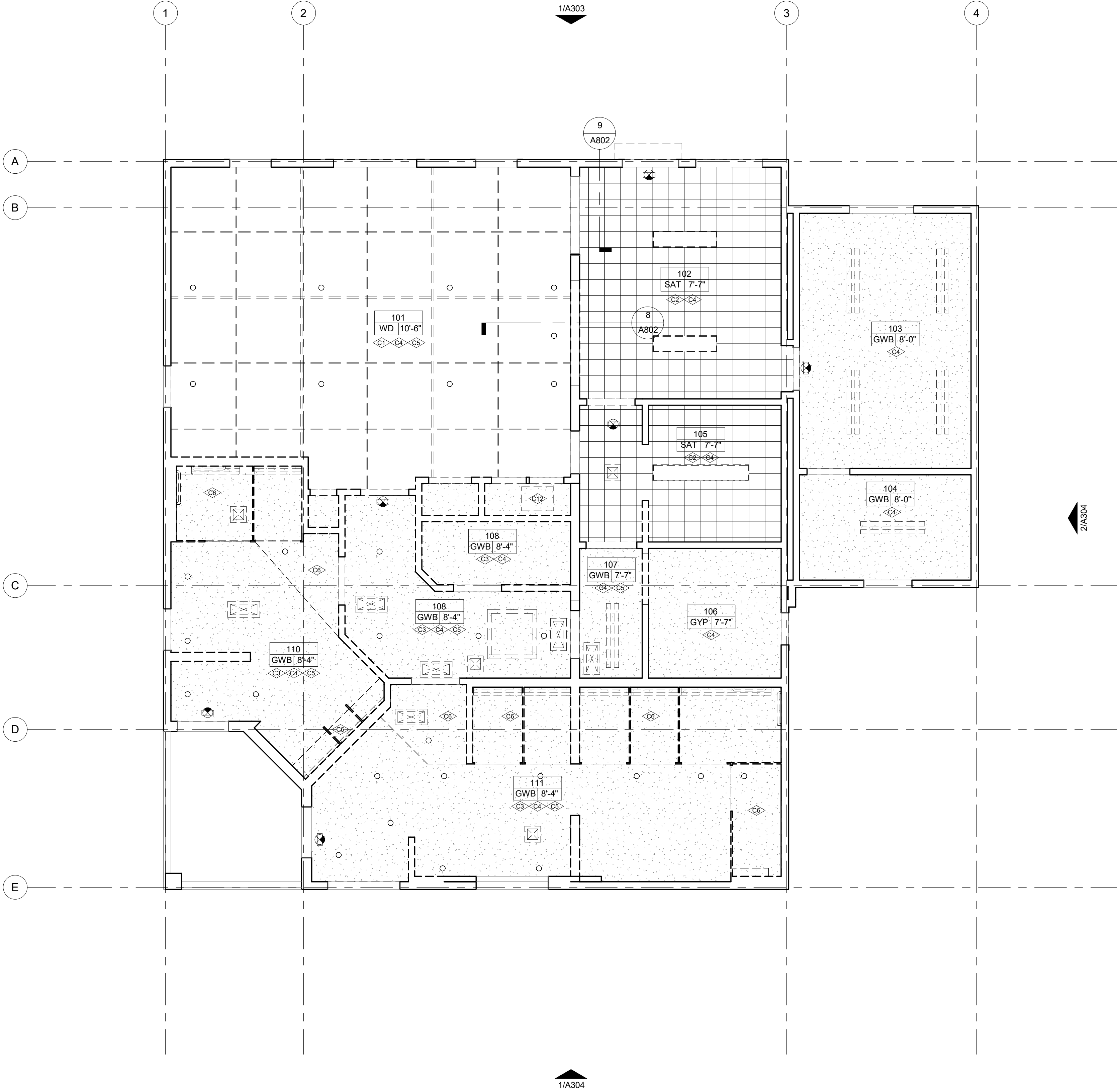
- 1) CEILING PLAN SHALL GOVERN OVER ELECTRICAL AND MECHANICAL PLANS REGARDING LOCATION OF FIXTURES, GRILLES, DIFFUSERS AND OTHER EQUIPMENT SHOWN. RE: PLANS FOR DIMENSIONS. GENERAL CONTRACTOR SHALL COORDINATE THIS WORK WITH ALL APPROPRIATE SUBCONTRACTOR TRADES.
- 2) WALL WASH FIXTURES TO BE LOCATED 30" MINIMUM FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- 3) CEILING PLANS SHOW MAJOR DUCTWORK AND OVERHEAD EQUIPMENT, NOT ALL PLUMBING, PIPING, MECHANICAL OR SPRINKLER WORK IS SHOWN ON THESE PLANS. REFER TO MECHANICAL, PLUMBING AND SPRINKLER DRAWINGS.

E) COORDINATION:

- 1) CEILING PLAN MAY NOT SHOW EVERY LIGHT, RE: ELECTRICAL PLANS. CONSULT ARCHITECT WITH ANY DISCREPANCIES.

CEILING PLAN KEY NOTES

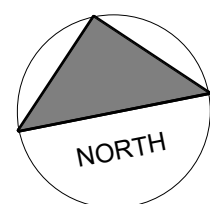
- <C1> REMOVE EXISTING WOOD CEILING & CROWN MOLDING
- <C2> REMOVE EXISTING SUSPENDED GRID AND ACOUSTICAL TILE CEILING
- <C3> REMOVE EXISTING GWB CEILING
- <C4> REMOVE EXISTING LIGHTING FIXTURES
- <C5> REMOVE MECHANICAL FIXTURES
- <C6> REMOVE EXISTING SOFFIT
- <C7> PENDANT LIGHT FIXTURE, RE: ELECTRICAL
- <C8> CEILING LIGHT FIXTURE, RE: ELECTRICAL
- <C9> WALL LIGHT FIXTURE, RE: ELECTRICAL
- <C10> SUPPLY AIR REGISTER, RE: MECHANICAL
- <C11> EXHAUST AIR REGISTER, RE: MECHANICAL
- <C12> REMOVE EXISTING ATTIC ACCESS
- <C13> NEW ATTIC ACCESS



1  
A911

EXISTING REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



**STAIS**  
ARCHITECTURE  
& INTERIORS

409 east main street  
p o box 4175  
frisco . colorado 80443  
970 453 0444

**STAIS** ARCHITECTS.COM

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

EXISTING REFLECTED  
CEILING PLAN

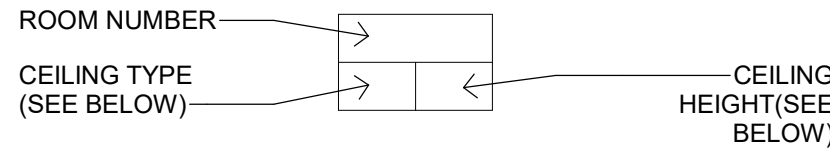
draft

A911



CEILING PLAN GENERAL NOTES

A) FINISH CODE TAGS CONTAIN THE FOLLOWING INFORMATION:



B) CEILING TYPES:

- 1) GWB = GYPSUM WALL BOARD
- 2) WD = EXISTING WOOD CEILING(TYP @ LOBBY)
- 3) SAT = EXISTING SUSPENDED ACOUSTICAL TILE (TYP @ STAFF AND KITCHEN)
- 4) BD = 1x6 BEAD BOARD W/ 4" CROWN MOLDING @ PERIMETER
- 5) T&G = 1x6 TONGUE AND GROOVE (TYP @ EXTERIOR SOFFITS & DECK CEILINGS)

C) CEILING HEIGHTS:

- 1) DIMENSIONS ARE TO BOTTOM OF CEILING FRAMING UNLESS OTHERWISE NOTED.
- 2) STR = TIGHT TO UNDERSIDE OF STRUCTURE ABOVE
- 3) OPEN = OPEN TO ABOVE
- 4) CLOSET CEILINGS SHALL MATCH CEILING TYPE OF ADJACENT ROOM UNLESS OTHERWISE NOTED.

D) LOCATION OF FIXTURES:

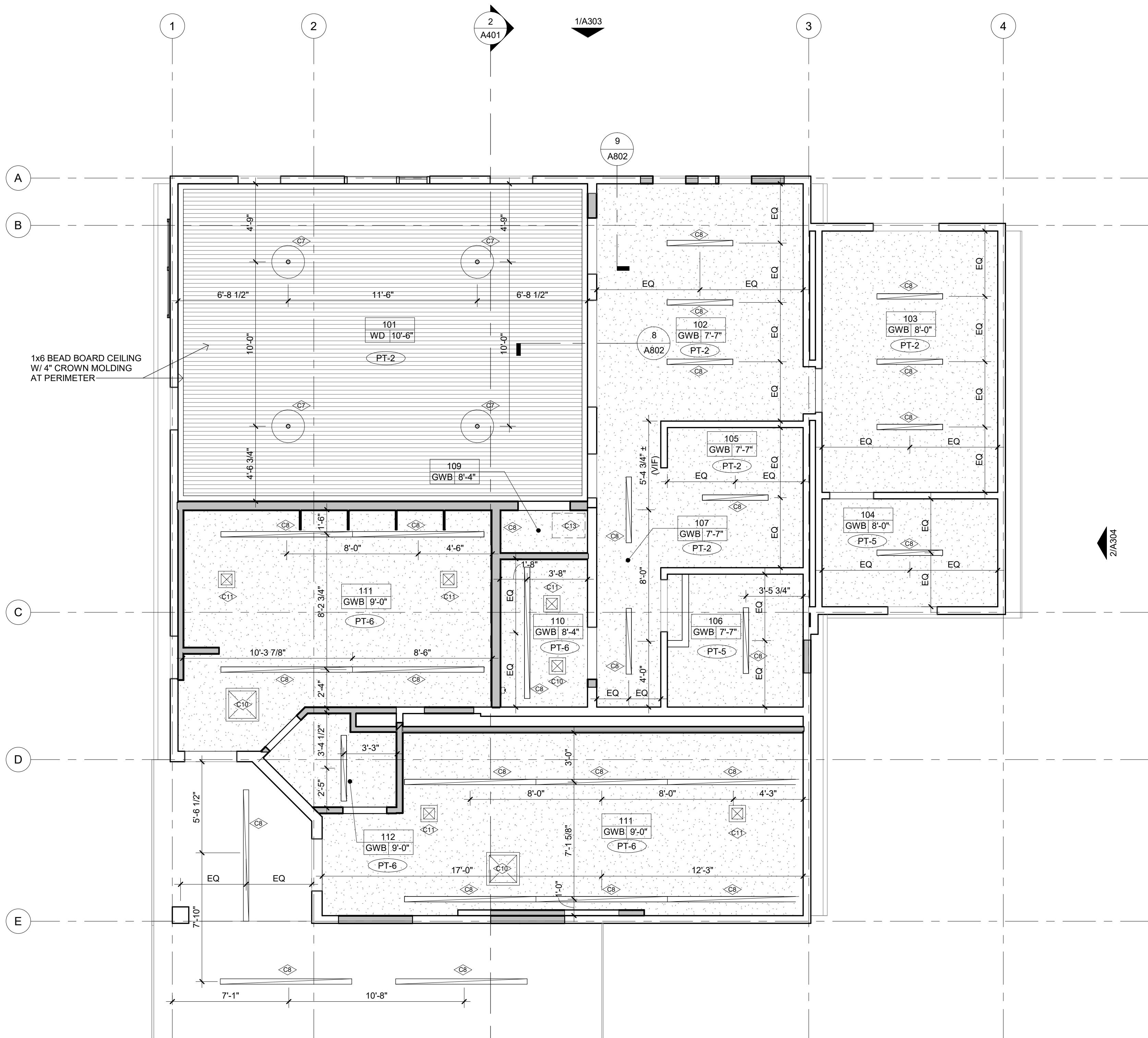
- 1) CEILING PLAN SHALL GOVERN OVER ELECTRICAL AND MECHANICAL PLANS REGARDING LOCATION OF FIXTURES, GRILLES, DIFFUSERS AND OTHER EQUIPMENT SHOWN. RE: PLANS FOR DIMENSIONS. GENERAL CONTRACTOR SHALL COORDINATE THIS WORK WITH ALL APPROPRIATE SUBCONTRACTOR TRADES.
- 2) WALL WASH FIXTURES TO BE LOCATED 30" MINIMUM FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- 3) CEILING PLANS SHOW MAJOR DUCTWORK AND OVERHEAD EQUIPMENT, NOT ALL PLUMBING, PIPING, MECHANICAL OR SPRINKLER WORK IS SHOWN ON THESE PLANS. REFER TO MECHANICAL, PLUMBING AND SPRINKLER DRAWINGS.

E) COORDINATION:

- 1) CEILING PLAN MAY NOT SHOW EVERY LIGHT. RE: ELECTRICAL PLANS. CONSULT ARCHITECT WITH ANY DISCREPANCIES.

CEILING PLAN KEY NOTES

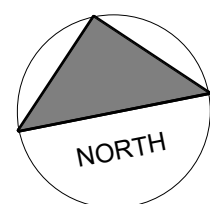
- <C1> REMOVE EXISTING WOOD CEILING & CROWN MOLDING
- <C2> REMOVE EXISTING SUSPENDED GRID AND ACOUSTICAL TILE CEILING
- <C3> REMOVE EXISTING GWB CEILING
- <C4> REMOVE EXISTING LIGHTING FIXTURES
- <C5> REMOVE MECHANICAL FIXTURES
- <C6> REMOVE EXISTING SOFFIT
- <C7> PENDANT LIGHT FIXTURE, RE: ELECTRICAL
- <C8> CEILING LIGHT FIXTURE, RE: ELECTRICAL
- <C9> WALL LIGHT FIXTURE, RE: ELECTRICAL
- <C10> SUPPLY AIR REGISTER, RE: MECHANICAL
- <C11> EXHAUST AIR REGISTER, RE: MECHANICAL
- <C12> REMOVE EXISTING ATTIC ACCESS
- <C13> NEW ATTIC ACCESS



1  
A921

PROPOSED REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



**STAIS**  
ARCHITECTURE  
& INTERIORS

409 east main street  
p o box 4175  
frisco . colorado 80443  
970 453 0444

**STAIS**ARCHITECTS.COM

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

ISSUE:

50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

PROPOSED REFLECTED  
CEILING PLAN

**draft**

A921



	EXISTING EQUIPMENT OR PIPE TO BE REMOVED.		RELIEF/SAFETY VALVE		ANCHOR
	GATE VALVE		GAS COCK		GUIDE
	GLOBE VALVE		AUTOMATIC FILL VALVE		EXPANSION JOINT
	PLUG VALVE		MANUAL AIR VENT		FLOW SWITCH
	BUTTERFLY VALVE		AUTOMATIC AIR VENT (EXTEND DISCHARGE TO DRAIN)		TEMPERATURE TRANSMITTER
	BALL VALVE		FLOW METER-VENTURI		PRESSURE TRANSMITTER OR PRESSURE SWITCH
	SWING CHECK VALVE		FLOW METER-ORIFICE		THERMOMETER
	LIFT CHECK VALVE		DIRECTION OF FLOW		GAUGE WITH GAUGE COCK & SYPHON (STEAM)
	GATE VALVE, ANGLE		DIRECTION OF PITCH-RISE OR DROP		AQUASTAT
	GLOBE VALVE, ANGLE		STRAINER		GAS PRESSURE REGULATOR
	DIAPHRAGM VALVE		STRAINER WITH BLOW OFF VALVE		FLOAT OPERATED CONTROL VALVE
	BALANCING VALVE		PIPE RISING UP		STEAM TRAP
	CIRCUIT SETTING BALANCING VALVE		PIPE DROPPING DOWN		EXPANSION LOOP
	THREE WAY CONTROL VALVE		CONCENTRIC REDUCER		VACUUM BREAKER
	TWO WAY CONTROL VALVE		ECCENTRIC REDUCER		THERMOSTAT
	SOLENOID VALVE		UNION - SCREWED OR FLANGED		DIGITAL SENSOR
	PRESSURE REDUCING VALVE (PRV)		STEAM LEAK DETECTOR		FIRE SMOKE DAMPER
	TEMPERATURE/PRESSURE RELIEF VALVE		CARBON MONOXIDE		CARBON DIOXIDE
	AIR VENT		HYDRAULIC SEPARATOR		AIR SEPARATOR

SECTION THROUGH EXHAUST AIR DUCT

SECTION THROUGH SUPPLY OR OUTSIDE AIR DUCT

FIRE / SMOKE DAMPER

SMOKE DAMPER

SUPPLY OR OUTSIDE AIR DUCT

ACCESS DOOR (BOTTOM OR SIDE)

ACOUSTICALLY LINED DUCT

FIRE DAMPER, SMOKE DAMPER, FIRE/SMOKE DAMPER

MANUAL VOLUME DAMPER

INCLINED DROP IN DIRECTION OF ARROW

INCLINED RISE IN DIRECTION OF ARROW

TRANSITION, RECTANGULAR TO ROUND

FLEXIBLE DUCT

IN-LINE FAN

TRANSITION, RECTANGULAR

SPIN-IN COLLAR INTO ADAPTER ON TOP OF DUCT

CEILING SUPPLY AIR REGISTER/GRILLE

SIDEWALL SUPPLY AIR REGISTER (SR)

ELBOW TURNED DOWN

ELBOW TURNED UP

ELBOW, RADIUS TYPE

ELBOW, SQUARE OR RECTANGULAR TYPE WITH AIRFOIL TURNING VANES

CEILING RETURN AIR REGISTER (RR)

SIDEWALL RETURN AIR REGISTER (RR)

OPEN END DUCT

FLEXIBLE CONNECTION

CHWR	CHILLED WATER RETURN
CHWS	CHILLED WATER SUPPLY
CA	COMPRESSED AIR
CR	CONDENSER WATER RETURN
CS	CONDENSER WATER SUPPLY
D	DRAIN
HPR	HEAT PUMP RETURN
HPS	HEAT PUMP SUPPLY
HWR	HOT WATER RETURN
HWS	HOT WATER SUPPLY
G	NATURAL GAS
RH	REFRIGERANT HIGH PRESSURE VAPOR
R	REFRIGERANT LIQUID AND VAPOR LINE
RS	REFRIGERANT SUCTION / VAPOR
SMR	SNOWMELT RETURN
SMS	SNOWMELT SUPPLY
V	VENT PIPING

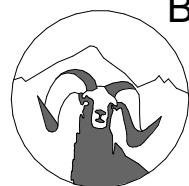
UNLESS OTHERWISE INDICATED ALL HEATING, VENTILATING, AIR CONDITIONING, PLUMBING, AND OTHER MECHANICAL EQUIPMENT, MOTORS, AND CONTROLS SHALL BE FURNISHED, SET IN PLACE AND WIRED AS FOLLOWS:

ITEM	FURNISHED	SET	POWER WIRED	CONTROL WIRED
EQUIPMENT	23	23	26	--
COMBINATION MAGNETIC MOTOR STARTERS, MAGNETIC MOTOR STARTERS, VFD'S AND CONTACTORS	23(1)	26	26(2)	23
FUSED AND UNFUSED DISCONNECT SWITCHES, THERMAL OVERLOAD SWITCHES AND HEATERS, MANUAL MOTOR STARTERS	26	26	26	--
MANUAL-OPERATING AND MULTI-SPEED SWITCHES	23	26	26	26
CONTROLS, RELAYS, TRANSFORMERS	23	23	26	23
THERMOSTATS (LOW VOLTAGE) AND TIME SWITCHES	23	23	26	23
THERMOSTATS (LINE VOLTAGE)	23	23	26	26
TEMPERATURE CONTROL PANELS	23	23	26	23
MOTOR AND SOLENOID VALVES, DAMPER MOTORS, PE & EP SWITCHES	23	23(2)	--	23(2)
PUSH-BUTTON STATIONS AND PILOT LIGHTS	23	23(2)	--	23(2)
HEATING, COOLING, VENTILATION AND AIR CONDITIONING CONTROLS	23	23	26	23
EXHAUST FAN SWITCHES	23	26	26	23(2)

1. MOTOR STARTER TO INCLUDE CONTROL TRANSFORMER, HOA SWITCH, (1) NO AND (1) NC AUXILIARY CONTACT, AND "ON" AND "OFF" PILOT LIGHTS.
2. IF ITEM IS FOR LINE VOLTAGE, SET IN PLACE AND CONNECT UNDER DIVISION 26. WHERE FACTORY MOUNTED ON EQUIPMENT OR ATTACHED TO PIPING OR DUCTS AND USING LINE VOLTAGE FURNISH AND SET UNDER DIVISION 23. CONNECT UNDER DIVISION 26.

44	MOUNTING HEIGHT ABOVE	DIFF	DIFFERENTIAL	HR	HOUR
45	FINISHED FLOOR TO CENTER OF DEVICE	DISCH	DISCHARGE	HT	HEIGHT
46	Amps	DIV	DIVISION	HTR	HEATER
47	A.C. ACCESS DOOR	DOW	DRAIN	HWT	HEATING WATER RETURN
48	A.A.V. AIR ADMITTANCE VALVE	DS	DUCT SILENCER	HWS	HEATING WATER SUPPLY
49	ABV ABOVE	DWG	DRAWINGS	HX	HEAT EXCHANGER
50	A.C. AIR CONDITIONING UNIT	EXP	DIRECT EXPANSION	HTD	HEATING
51	ACO ABOVE COUNTER	(E)	EXISTING	ID	INSIDE DIAMETER
52	AD AREA DRAIN (SEE SYMBOLS)	EA	EXHAUST AIR GRILL/REGISTER	IG	ISOLATED GROUND
53	A.F.C. ABOVE FINISHED CEILING	EA	ENTERING AIR REGISTER	INH	INCHES
54	A.F.G. ABOVE FINISHED GRADE	EC	ELECTRICAL CIRCUIT	INV	INVERT
55	AIC AMPS INTERRUPTING CAPACITY	ECC	ECCENTRIC	JBOX	JUNCTION BOX
56	AIFC ABOVE INTERRUPTING FLOOR	ECC	EXISTING FAN	K	KELVIN
57	AL ALUMINUM	EFF	EFFICIENCY	KW	KILOWATT
58	ALU ALUMINUM	EL	ELEVATION	KVA	KILO VOLT - AMPS
59	AP ACCESS PANEL OR DOOR	ELEC	ELECTRIC	L	LENGTH
60	ATS AUTOMATIC TRANSFER SWITCH	EL	ELECTRIC	LAV	LEAVING AIR LATE
61	AV AUDIO / VIDEO	EM	EMERGENCY FUNCTION	LV	LAVATORY
62	AVG AVERAGE	ENT	ENTERING	LB	POUND
63	AWK AMERICAN WIRE GAGE	EQ	ELECTRIC METALLIC TUBE	LD	LEADING DIFFUSER
64	BAS BUILDING AUTOMATION SYSTEM	EQ	EQUAL	LF	LINEAR FEET
65	BB BASEBOARD	EQUIP	EQUIPMENT	LN	LINEAR
66	BD BACK FATH DAMPER	EQUIN	EQUIVALENT	LQ	LIQUID
67	BFP BACK FLOW PREVENTOR	ES	END SWITCH	LUM	LUMEN
68	BL BOLLER	ESP	EXTERNAL STATIC PRESSURE	LRA	LOCKED ROTOR AMPS
69	BLDG BUILDING	ET	EXPANSION TANK	LV	LOUVER
70	BLU BLUE	EWG	ELECTRIC WATER COOLER	LW	LEAVING
71	BLOB BOTTOM OF BEAM	EW	ENTERING WATER	LWT	LEAVING WATER TEMPERATURE
72	BOB BOTTOM OF DUCT	TEMPERATURE		MBH	THOUSANDS OF BTU PER HOUR
73	BOP BOTTOM OF PIPE	EX	EXHAUST	MCH	MECHANICAL CONTRACT
74	BSMT BASEMENT	EXPAN	EXPANSION	MCB	MINIMUM CIRCUIT
75	BTU BRITISH THERMAL UNIT	EXT	EXTERNAL	AMPACITY	
76	C CHILLER	F	DEGREES FAHRENHEIT	MCB	MINOR CIRCUIT BREAKER
77	CAP CAPACITY	FA	FREE AREA	MOT	MOTORIZED DAMPER
78	CB CIRCUIT BREAKER	FC	FAN COIL UNIT	MDP	MAIN DISTRIBUTION PANEL
79	CBV CIRCUIT BALANCING VALVE	FC	FOOT/CANAL	MD	MEDIUM
80	CC CORRELATED COLOR	FCE	FLOW CONTROL VALVE	MAN	MANUFACTURER
81	TEMPERATURE	FD	FIRE DAMPER	MIN	MINIMUM
82	CKT CIRCUIT	FD	FLOOR DRAIN	MISC	MISCELLANEOUS
83	CHM CUBIC FEET PER HOUR	FIN	FINISHED	MIS	MISCELLANEOUS
84	CHM CUBIC FEET PER MINUTE	FLL	FULL LOAD AMPS	MOC	MAXIMUM OVERCURRENT
85	CHWR CHILLED WATER RETURN	FLEX	FLEXIBLE	PROTECTION	
86	CHWS CHILLED WATER RETURN	FLR	FLOOR	MTD	MOUNTED
87	CAST FROM	FMT	FAT ON BOTTOM	MUP	MAKE-UP AIR UNIT
88	CL CENTER LINE	FOT	FLOT ON TOP	N	NEUTRAL
89	CLG CEILING	FP	FIRE PROTECTION	NC	NORMALLY CLOSED
90	CONC CONCRETE MASONRY UNIT	FR	FIRE RUMP	NEG	NEGATIVE
91	CON CLEAN OUT	FRM	FEET PER MINUTE	NEC	NOT IN CONTRACT
92	COL COLUMN	FS	FEET PER SECOND	NL	NIGHT / SECURITY LIGHT - DO
93	COMP COMPRESSOR	FSL	FLOW SWITCH	NOT SW	NOT SWITCH
94	CONC CONCRETE	FSD	FIRE/SMOKE DAMPER	NO	NORMALLY OPEN
95	COND CONDENSATE	FT	FEET	NOM	NOMINAL
96	CONN CONNECTION	FCX	FLEXIBLE CONNECTION	NTS	NOT TO SCALE
97	CONT CONTINUATION	G	GAUGE	OA	OUTSIDE AIR
98	CONTR CONTRACTOR	GAL	GALLON	OB	OPPOSED BLADE DAMPER
99	CRI COLOR RENDERING INDEX	GAL	GALLON	OC	ON CENTER
100	CT COOLING TOWER	GA	GALVANIZED	OD	OUTSIDE
101	CT CURRENT TRANSFORMER	GEC	GROUND ELECTRODE	OC	OCCURRED
102	CU CONDENSING UNIT	CONDUCTOR		OP	OVER CURRENT PROTECTION
103	CU COPPER	GFCI/GFI	GROUND FAULT CIRCUIT	OD	OUTSIDE DIAMETER
104	CUB CUBIC	INTERRUPTER		ORD	OVERLOAD
105	CUBH CUBIC FEET PER HOUR	G	GENERAL	ORF	OVERFLOW ROOF DRAIN
106	CVB CONSTANT VOLUME BOX	GPH	GALLONS PER HOUR	OZ	OUNCE
107	CWR CONDENSING WATER RETURN	GPM	GALLONS PER MINUTE	PB	PARALLEL BLADE DAMPER
108	CWS CONDENSING WATER SUPPLY	GRLS	GRAINS PER POUND	PRD	PRESSURE DROP
109	DB DRY BULB	H2O	WATER	PH	PHASE
110	DEPT DEPARTMENT	H	HOSE BIBB	POS	POSITIVE PRESSURE
111	DF DRAIN FLOW	HD	HEAD (SEE SCHEDULES)	POS	POINT OF SALES
112	DIAMETER	HP	HEAT PUMP	PPV	PRESSURE REDUCING VALVE
113	DIAG DIAGRAM	HP	HORSEPOWER	PS	PRESSURE SWITCH
				PSI	POUNDS PER SQUARE INCH
				PT	PRESSURE THERMISTOR

386 Indian Road  
Grand Junction, CO 81501  
Phone: (970) 241-8709



A. SUBSTITUTIONS: SUBSTITUTION OF SPECIFIED EQUIPMENT WILL BE ALLOWED THROUGH A PRIOR APPROVAL PROCESS INITIATED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT INTENDED SUBSTITUTION AT LEAST FIVE DAYS PRIOR TO BID FOR APPROVAL FROM ENGINEER. SUBMITTAL SHALL INCLUDE CAPACITIES, DIMENSIONS AND OPERATING INSTRUCTIONS FOR EACH PIECE OF EQUIPMENT. SUBSTITUTION SHALL OCCUR AT NO COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF APPROVED SUBSTITUTION AND SHALL INCUR ALL COSTS ASSOCIATED WITH THE SUBSTITUTION INCLUDING STRUCTURAL MODIFICATIONS, SPACE LAYOUT AND REDESIGN COSTS. SEE ALSO DIVISION I GENERAL REQUIREMENTS.

A. EXAMINE CAREFULLY THE SITE AND CONDITIONS OF THE SITE. PROVIDE ALL NECESSARY EQUIPMENT AND LABOR TO INSTALL A COMPLETE WORKING SYSTEM WITHIN THE SITE CONDITIONS.

**B. EXAMINE THE DRAWINGS AND SPECIFICATIONS AND 5 DAYS PRIOR TO BIDDING REPORT ANY ERRORS, OMISSIONS, INCONSISTENCIES, AND CONFLICTS TO THE ENGINEER TO BE REMEDIED IN AN ADDENDUM TO THE PROJECT PRIOR TO BID TIME.**

C. DRAWINGS ARE DIAGRAMMATIC AND CATALOG NUMBERS GIVEN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CAPACITY OF THE EQUIPMENT MEETS THE DRAWING REQUIREMENTS AND SHALL NOT DIMENSION FROM THE MECHANICAL, PLUMBING, OR PIPING DRAWINGS.

D. THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL BUILDING CODES SHALL BE USED AS REQUIRED. THIS WILL ALSO INCLUDE THE LATEST ADOPTED VERSIONS OF THE MECHANICAL, PLUMBING AND ENERGY CONSERVATION CODES. ALL METHODS AND MATERIALS REQUIRED BY THESE CODES SHALL BE REQUIRED BY THESE SPECIFICATIONS UNLESS INDICATED OTHERWISE. OTHER APPLICABLE LOCAL CODES AND ORDINANCES SHALL BE AS REQUIRED AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THESE REQUIREMENTS.

E. WHERE INSTALLATION PROCEDURES OR ANY PART THEREOF ARE REQUIRED TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL BEING INSTALLED, PRINTED COPIES OF THESE RECOMMENDATIONS SHALL BE FURNISHED TO THE ENGINEER PRIOR TO INSTALLATION. INSTALLATION OF THE ITEM WILL NOT BE ALLOWED TO PROCEED UNTIL THE RECOMMENDATIONS ARE RECEIVED. FAILURE TO FURNISH THESE RECOMMENDATIONS CAN BE CAUSE FOR REJECTION OF THE MATERIAL.

**old town hall park &  
vic renovations**

300 east main street  
frisco . colorado

PROJECT # 2129

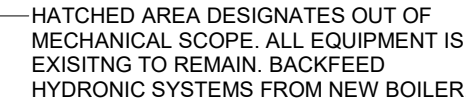
© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

[illegible]

draft

## MO-1





MECHANICAL GENERAL NOTES:

1. DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL. DRAWINGS DO NOT NECESSARILY INDICATE THE REQUIRED FITTING OR FITTINGS. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
2. DUCT DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL DUCTING SHALL BE INSULATED PER 2018 IECC CODE REQUIREMENTS. (SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH NOT LESS THAN R-8 INSULATION. WHERE LOCATED IN UNCONDITIONED SPACES AND WHERE THE LOCATED OUTSIDE AIR WITH NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8. WHERE LOCATED WITHIN A BUILDING ELEVATION ASSEMBLY, THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR USING AN AIR TIGHT JOINT BY NOT LESS THAN R-8 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8).
3. COORDINATE FINAL LOCATION OF THERMOSTAT WITH OWNER PRIOR TO INSTALLATION. IF THERMOSTAT IS LOCATED ON EXTERIOR WALL PROVIDE THERMOSTAT WITH INSULATED BACKING.
4. ALL MOTORIZED DAMPERS ON OUTDOOR AIR INTAKES AND EXHAUST SHALL BE PROVIDED WITH CLASS IA MOTORIZED DAMPERS WITH A MAXIMUM LEAKAGE RATE OF 4 CFM/F<sup>2</sup> AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH ASMA 5000. (PER 2012 IECC)
5. MECHANICAL CONTRACTOR SHALL FIELD LOCATE EXISTING DUCTWORK PRIOR TO CONSTRUCTION. MECHANICAL CONTRACTOR SHALL COORDINATE FIELD LOCATE IN CONNECTION POINTS OF NEW SUPPLY DIFFUSER WITH EXISTING DUCTWORK AS NECESSARY.
6. CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO REMAIN IS PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT. CONTRACTOR TO INSURE THAT FINAL MECHANICAL SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
7. MECHANICAL EQUIPMENT MANUFACTURERS AS SCHEDULED ON MECHANICAL DRAWINGS ARE SUGGESTED. MANUFACTURER'S SPECIFICATIONS SHALL BE USED UNLESS OTHERWISE SPECIFIED BY OWNER AND PREFERENCES. MECHANICAL CONTRACTOR CAN SUBMIT EQUIVALENT EQUIPMENT FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED MECHANICAL EQUIPMENT. ALTERNATE MANUFACTURERS AND EQUIPMENT SHALL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.





**MECHANICAL GENERAL NOTES:**

1. DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL. DRAWINGS DO NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING, ETC. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM PROVIDED DIMENSIONS. CERTIFIED DIMENSIONS ARE GIVEN. DRAWING IS TO BE USED FOR THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
2. DUCT DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL DUCTING SHALL BE INSULATED PER 2018 IECC CODE REQUIREMENTS. SUPPLY AND RETURN AIR DUCTS AND PLenums SHALL BE INSULATED WITH NOT LESS THAN R-8 INSULATION. WHERE LOCATED IN UNCONDITIONED SPACES AND WHERE LOCATED OUTSIDE THE BUILDING WITH NOT LESS THAN R-8 INSULATION IN CLIMATE ZONES 1 & 2, R-10.5 IN CLIMATE ZONES 3 & 4, AND R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8. INSULATION SHALL BE INSTALLED WHILE LOCATED WITHIN A BUILDING ENVELOPE ASSEMBLY. THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED OR EXEMPT SPACES BY NOT LESS THAN R-8 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8.)
3. COORDINATE FINAL LOCATION OF THERMOSTAT WITH OWNER PRIOR TO INSTALLATION. IF THERMOSTAT IS LOCATED ON EXTERIOR WALL PROVIDE THERMOSTAT WITH INSULATED BACKING.  
  
ALL MOTORIZED DAMPERS ON OUTDOOR AIR INTAKES AND EXHAUST SHALL BE PROVIDED WITH CLASS I MOTORIZED DAMPERS WITH A MAXIMUM LEAKAGE RATE OF 1 CFM/FAT AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH AMCA 5000, (PER 2012 IECC)
4. MECHANICAL CONTRACTOR SHALL FIELD LOCATION EXISTING DUCTWORK PRIOR TO CONSTRUCTION. MECHANICAL CONTRACTOR SHALL COORDINATE TIE IN CONNECTION POINTS OF NEW SUPPLY DIFFUSERS WITH EXISTING DUCTWORK AS NECESSARY.
6. CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO REMAIN IS PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT. CONTRACTOR TO INSURE THAT FINAL MECHANICAL SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
7. MECHANICAL EQUIPMENT MANUFACTURERS AS SCHEDULED ON MECHANICAL DRAWINGS ARE SUGGESTED MANUFACTURERS. UNLESS NOTED OTHERWISE DUE TO OWNER/LOCAL REQUIREMENTS AND PREFERENCES, MECHANICAL CONTRACTOR CAN SUBMIT EQUIVALENT EQUIPMENT FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED MECHANICAL EQUIPMENT. ALTERNATE MANUFACTURERS FOR MECHANICAL EQUIPMENT WILL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.

MECHANICAL GENERAL NOTES:

1. DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL. DRAWINGS DO NOT NECESSARILY INDICATE WHEN REQUIRED DIMENSIONS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
2. DUCT DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL DUCTING SHALL BE INSULATED PER 2018 IECC code requirements. (SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH NOT LESS THAN R-8 INSULATION WHERE LOCATED IN UNCONDITIONED SPACES AND WHERE LOCATED OUTSIDE WITH NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8, WHERE LOCATED WITHIN A BUILDING ENVELOPE). INSULATION OF THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED SPACE OR NOT LESS THAN R-8 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8.)
3. COORDINATE FINAL LOCATION OF THERMOSTAT WITH OWNER PRIOR TO INSTALLATION. IF THERMOSTAT IS LOCATED ON EXTERIOR WALL PROVIDE THERMOSTAT WITH INSULATED BACKING.
4. ALL MOTORIZED DAMPERS ON OUTDOOR AIR INTAKES AND EXHAUST SHALL BE PROVIDED WITH CLASS IA MOTORIZED DAMPERS WITH A MAXIMUM LEAKAGE RATE OF 4 CFM/F<sup>2</sup> AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH ASMA 500D. (PER 2012 IECC)
5. MECHANICAL CONTRACTOR SHALL FIELD LOCATE EXISTING DUCTWORK PRIOR TO CONSTRUCTION. MECHANICAL CONTRACTOR IS NOTED TO COORDINATE THE IN CONNECTION POINTS OF NEW SUPPLY DIFFUSER WITH EXISTING DUCTWORK AS NECESSARY.
6. CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO REMAIN IS PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT. CONTRACTOR TO INSURE THAT FINAL MECHANICAL SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
7. MECHANICAL EQUIPMENT MANUFACTURERS AS SCHEDULED ON MECHANICAL DRAWINGS ARE SUGGESTED MANUFACTURERS. CONTRACTOR IS NOTED TO COORDINATE WITH OWNER FOR EQUIPMENT TYPES AND PREFERENCES. MECHANICAL CONTRACTOR CAN SUBMIT EQUIVALENT EQUIPMENT FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED MECHANICAL EQUIPMENT. ALTERNATE MANUFACTURERS FOR EQUIPMENT WILL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK; ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.

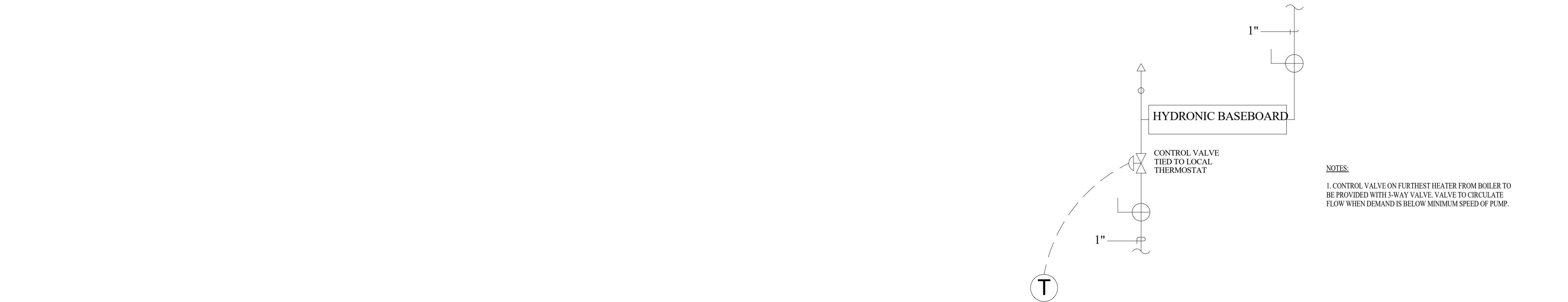
ISSUE: 100% REVIEW  
11/15/2023

[illegible]MECHANICAL - PIPING  
PLAN

draft

**M2-1**



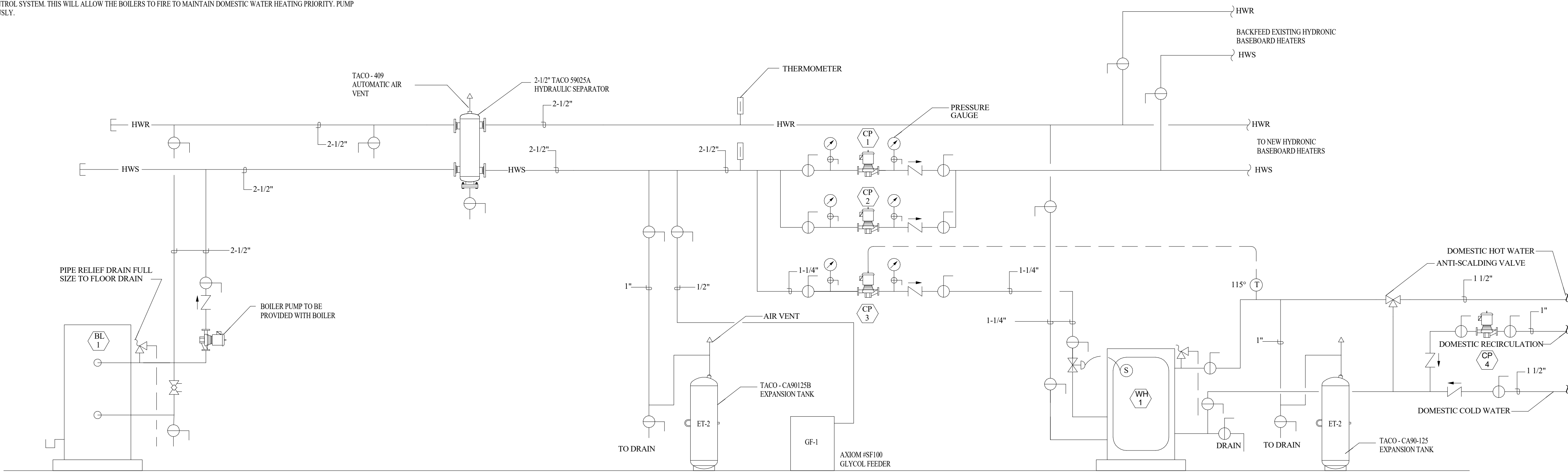


SEQUENCE OF OPERATION:

ON A CALL FOR HEATING FROM ANY ZONE THERMOSTAT, THE SYSTEM PUMP CP-1.2 SHALL START AND THE BOILER CONTROL SYSTEM SHALL BE ENABLED TO FIRE AND SEQUENCE THE BOILERS.

THE BOILER ONBOARD CONTROL SYSTEM SHALL CONTROL THE FIRING OF THE BOILER. THE CONTROLS SHALL MONITOR OUTSIDE AIR, HOT WATER SUPPLY AND HOT WATER RETURN TEMPERATURES. THE BOILER CONTROLS SHALL START/STOP THE INDIVIDUAL BOILER VARIABLE SPEED CIRCULATION PUMPS PROVIDED BY THE MANUFACTURER.

ON A CALL FOR DOMESTIC WATER HEATING, THE PUMP CP-3 SHALL BE STARTED AND A DOMESTIC HOT WATER HEATING DEMAND SIGNAL SHALL BE SENT TO THE BOILER CONTROL SYSTEM. THIS WILL ALLOW THE BOILERS TO FIRE TO MAINTAIN DOMESTIC WATER HEATING PRIORITY. PUMP CP-3 SHALL RUN CONTINUOUSLY.



BUILDING HEATING BOILER PIPING DETAIL

SCALE: NTS

NOTE: FINAL FILL OF SYSTEM SHALL BE WITH SOLUTION OF 30% PROPYLENE GLYCOL.

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

pricing	2 feb 2024

MECHANICAL - BOILER  
SCHEMATIC

draft

M2-2



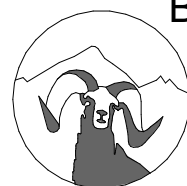
FAN COIL SCHEDULE																
TYPE MARK	SERVICE	SUPPLY AIRFLOW (CFM)	OUTSIDE AIRFLOW (CFM)	SUPPLY E.S.P. (IN. W.G.)	HEATING OUTPUT	FILTERS	SUPPLY FAN MOTOR POWER	ELECTRIC HEATING ELEMENT	VOLTS	PHASE	ELECTRICAL FREQUENCY	MCA (A)	MOCP (A)	MANUFACTURER	MODEL #	OPTIONS/ ACCESSORIES
FC-1	OUTSIDE AIR	1050	1050	.75	68000 BTU/H	MERV 8	3/4HP	20 KW	208 V	1	60 HZ	7 A	15 A	GOODMAN	MBVC2001AA-HKA3-20	NOTE-1
FC-2	LOBBY HEAT	650	-	.35	17060 BTU/H	MERV 8	1/6 HP	5 KW	208 V	3	60 HZ	20 A	20 A	TPI CORP	F3G7205	NOTE-2

2. FAN COIL TO SERVE MAKEUP AIR FOR RESTROOMS. PROVIDE WITH ECM, FIELD INSTALLED 20 KW ELECTRIC HEATER KIT (HEATER WILL REQUIRE SECONDARY POWER SUPPLY, 208V/3PH/60HZ, 100 AMPS), WALL MOUNTING HARDWARE, FLEXIBLE DUCT CONNECTIONS, MERV 8 FILTER, MOTORIZED DAMPER, AND FACTORY CONTROLS.



## Mechanical & Electrical Engineers

970 453 0444



A. SUBSTITUTIONS: SUBSTITUTION OF SPECIFIED EQUIPMENT WILL BE ALLOWED THROUGH A PRIOR APPROVAL PROCESS INITIATED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT INTENDED SUBSTITUTION AT LEAST FIVE DAYS PRIOR TO BID FOR APPROVAL FROM ENGINEER. SUBMITTAL SHALL INCLUDE CAPACITIES, DIMENSIONS AND OPERATING INSTRUCTIONS FOR EACH PIECE OF EQUIPMENT. SUBSTITUTION SHALL OCCUR AT NO COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF APPROVED SUBSTITUTION AND SHALL INCUR ALL COSTS ASSOCIATED WITH THE SUBSTITUTION INCLUDING STRUCTURAL MODIFICATIONS, SPACE LAYOUT AND REDESIGN COSTS. SEE ALSO DIVISION I GENERAL REQUIREMENTS.

A. EXAMINE CAREFULLY THE SITE AND CONDITIONS OF THE SITE. PROVIDE ALL NECESSARY EQUIPMENT AND LABOR TO INSTALL A COMPLETE WORKING SYSTEM WITHIN THE SITE CONDITIONS.

**B. EXAMINE THE DRAWINGS AND SPECIFICATIONS AND 5 DAYS PRIOR TO BIDDING REPORT ANY ERRORS, OMISSIONS, INCONSISTENCIES, AND CONFLICTS TO THE ENGINEER TO BE REMEDIATED IN AN ADDENDUM TO THE PROJECT PRIOR TO BID TIME.**

C. DRAWINGS ARE DIAGRAMMATIC AND CATALOG NUMBERS GIVEN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CAPACITY OF THE EQUIPMENT MEETS THE DRAWING REQUIREMENTS AND SHALL NOT DIMENSION FROM THE MECHANICAL, PLUMBING, OR PIPING DRAWINGS.

D. THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL BUILDING CODES SHALL BE USED AS REQUIRED. THIS WILL ALSO INCLUDE THE LATEST ADOPTED VERSIONS OF THE MECHANICAL, PLUMBING AND ENERGY CONSERVATION CODES. ALL METHODS AND MATERIALS REQUIRED BY THESE CODES SHALL BE REQUIRED BY THESE SPECIFICATIONS UNLESS INDICATED OTHERWISE. OTHER APPLICABLE LOCAL CODES AND ORDINANCES SHALL BE AS REQUIRED AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THESE REQUIREMENTS.

E. WHERE INSTALLATION PROCEDURES OR ANY PART THEREOF ARE REQUIRED TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL BEING INSTALLED, PRINTED COPIES OF THESE RECOMMENDATIONS SHALL BE FURNISHED TO THE ENGINEER PRIOR TO INSTALLATION. INSTALLATION OF THE ITEM WILL NOT BE ALLOWED TO PROCEED UNTIL THE RECOMMENDATIONS ARE RECEIVED. FAILURE TO FURNISH THESE RECOMMENDATIONS CAN BE CAUSE FOR REJECTION OF THE MATERIAL.

UNLESS OTHERWISE INDICATED ALL HEATING, VENTILATING, AIR CONDITIONING, PLUMBING, AND OTHER MECHANICAL EQUIPMENT, MOTORS, AND CONTROLS SHALL BE FURNISHED, SET IN PLACE AND WIRED AS FOLLOWS:

ITEM	FURNISHED	SET	POWER WIRED	CONTROL WIRED
EQUIPMENT	23	23	26	--
COMBINATION MAGNETIC MOTOR STARTERS, MAGNETIC MOTOR STARTERS, VFD'S AND CONTACTORS	23(1)	26	26(2)	23
FUSED AND UNFUSED DISCONNECT SWITCHES, THERMAL OVERLOAD SWITCHES AND HEATERS, MANUAL MOTOR STARTERS	26	26	26	--
MANUAL-OPERATING AND MULTI-SPEED SWITCHES	23	26	26	26
CONTROLS, RELAYS, TRANSFORMERS	23	23	26	23
THERMOSTATS (LOW VOLTAGE) AND TIME SWITCHES	23	23	26	23
THERMOSTATS (LINE VOLTAGE)	23	23	26	26
TEMPERATURE CONTROL PANELS	23	23	26	23
MOTOR AND SOLENOID VALVES, DAMPER MOTORS, PE & EP SWITCHES	23	23(2)	--	23(2)
PUSH-BUTTON STATIONS AND PILOT LIGHTS	23	23(2)	--	23(2)
HEATING, COOLING, VENTILATION AND AIR CONDITIONING CONTROLS	23	23	26	23
EXHAUST FAN SWITCHES	23	26	26	23(2)

AUXILIARY CONTACT, AND "ON" AND "OFF" PILOT LIGHTS.

2. IF ITEM IS FOR LINE VOLTAGE, SET IN PLACE AND CONNECT UNDER DIVISION 26. WHERE FACTORY MOUNTED ON EQUIPMENT OR ATTACHED TO PIPING OR DUCTS AND USING LINE VOLTAGE FURNISH AND SET UNDER DIVISION 23, CONNECT UNDER DIVISION 26.

AA	MOUNTING HEIGHT ABOVE	DIFF	DIFFERENTIAL
AF	FINISHED FLOOR TO CENTER OF DEVICE	DISCH	DISCHARGE
AMP	AMPS	DIV	DIVISION
A.D.	ACCESS DOOR	DN	DOWN
AAV	AIR ADMITTANCE VALVE	DS	DUCT SILENCER
ABV	ABOVE	DWG	DRAWING
AC	AIR CONDITIONING UNIT	DX	DIRECT EXPANSION
AC	ABOVE COUNTER	(E)	EXISTING
AD	AREA DRAIN (SEE SYMBOLS)	EA	EXHAUST AIR GRILLE/REGISTER
A.F.C.	AIR FINISHED CEILING	EAT	ENTERING AIR TEMPERATURE
A.F.G.	ABOVE FINISHED GRADE	EC	ELECTRICAL CONTRACTOR
AIC	AMPS INTERRUPTING CAPACITY	ECC	ECCENTRIC
AF	ABOVE FINISHED FLOOR	EF	EXHAUST FAN
AH	AIR HANDLING UNIT	EFF	EFFICIENCY
AL	ALUMINUM	ELEV	ELEVATION
AP	ACCESS PANEL, OR DOOR	ELC	ELECTRIC
ATS	AUTOMATIC TRANSFER SWITCH	EM	EMERGENCY FUNCTION
AV	AUDIO / VIDEO	EN	ENTERING
AVE	AVERAGE	EMT	ELECTRIC METALLIC TUBE
AWG	American Wire Gage	EQ	EQUAL
BAS	BUILDING AUTOMATION SYSTEM	EQUIP	EQUIPMENT
BB	BASEBOARD	EQUIV	EQUIVALENT
BD	BACK DRAIN / DAMPER	ES	END SWITCH
BFBF	BACK FLOW PREVENTOR	ESP	EXTERNAL STATIC PRESSURE
B	BOLLER	ET	EXPANSION TANK
BDBG	BUILDING	EW	ELECTRIC WATER COOLER
BLU	BOTTOM OF BEAM	EWT	ENTERING WATER
BD	BOTTOM OF DUCT	TEMP	TEMPERATURE
BSMT	BOTTOM OF PIPE	EX	EXHAUST
BSMT	BASEMENT	EXPAN	EXPANSION
BTU	BRITISH THERMAL UNIT	EXT	EXTERNAL
C	CHILLER	F	DEGREES FAHRENHEIT
CA	CAPACITY	FREE	FREE AREA
CB	CIRCUIT BREAKER	FC	FAN COIL UNIT
CBV	CIRCUIT BALANCING VALVE	FC	FOOTCANDLE
CCCT	CORRELATED COLOR	FF	FLOW CONTROL VALVE
TEMP	TEMPERATURE	FD	FIRE DAMPER
CR	CIRCUIT	FF	FLOOR DRAIN
CFH	CUBIC FEET PER HOUR	FIN	FINISHED
CFM	CUBIC FEET PER MINUTE	FLA	FULL LOAD AMPS
CHWR	CHILLED WATER RETURN	FLEX	FLEXIBLE
CHWS	CHILLED WATER SUPPLY	FLR	FLOOR
CI	CAST IRON	FOB	FLAT ON BOTTOM
CL	CENTER LINE	FOT	FAT ON TOP
CLG	CEILING	FP	FIRE PROTECTION
CMU	CONCRETE MASONRY UNIT	FR	FIRE RUMP
CO	CLEAN OUT	FRM	FEET PER MINUTE
COL	COLUMN	FPS	FEET PER SECOND
COMP	COMPRESSOR	FS	FLOW SWITCH
CONC	CONCRETE	FSD	FIRE/SMOKE DAMPER
COND	CONDENSATE	FT	FEET
CONN	CONNECTION	FXC	FLEXIBLE CONNECTION
CON	CONTINUATION	GRND	GROUND
CONTR	CONTRACTOR	GA	GAUGE
CR	COLOR RENDERING INDEX	GAL	GALLON
CT	COOLING TOWER	GALV	GALVANIZED
CT	CURRENT TRANSFORMER	GE	GROUND ELECTRODE
CU	CUPENSING UNIT	COND	CONDUCTOR
CU	CUPENSING UNIT	GRF / GFI	GROUND FAULT CIRCUIT
CUB	CABINET UNIT HEATER		INTERRUPTER
CVB	CONSTANT VOLUME BOX	GN	GENERAL CONTRACTOR
CWR	CONDENSER WATER RETURN	GPM	GALLONS PER HOUR
CWS </td <td>CONDENSER WATER SUPPLY</td> <td>GPH</td> <td>GALLONS PER MINUTE</td>	CONDENSER WATER SUPPLY	GPH	GALLONS PER MINUTE
DB	DRY BULB	GRSLB	GRAINS PER POUND
DEPT	DEPARTMENT	H2O	WATER
DF	DRINKING FOUNTAIN	H	HOSE BIBB
DI	DIAMETER	HD	HEAD (SEE SCHEDULES)
DIAG	DIAGRAM	HP	HEAT PUMP
		HP	HORSEPOWER

PLUMBING SHEET LIST	
Sheet Number	Sheet Name
P0-1	PLUMBING COVER SHEET
P1-1	PLUMBING - DOMESTIC PIPING PLANS
P1-2	PLUMBING - WASTE/VENT PLAN
P3-1	PLUMBING SCHEDULES

LINE TYPE	DESCRIPTION
-----------	-------------

<u>LINE TYPE</u>	<u>DESCRIPTION</u>
140	HIGH TEMPERATURE (140°) WATER PIPE
	COLD WATER PIPE (CW)
CA	COMPRESSED AIR
DC	DECONTAMINATION PIPING
DER	DEIONIZED WATER RETURN
DES	DEIONIZED WATER SUPPLY
DIS	DISTILLED WATER SUPPLY
DIR	DISTILLED WATER RETURN
CD	EQUIPMENT CONDENSATE DRAIN
FP	FIRE MAIN
GW	GREASE WASTE PIPE
HE	HELIUM
HPS	HIGH PRESSURE STEAM
HPC	HIGH PRESSURE CONDENSATE
	HOT WATER RECIRCULATION (HWR)
	HOT WATER PIPE (HW)
H2	HYDROGEN
LPC	LOW PRESSURE CONDENSATE
LPS	LOW PRESSURE STEAM
MA	MEDICAL AIR
G	NATURAL GAS PIPE
N2	NITROGEN
N2O	NITROUS OXIDE
ORD	OVERFLOW STORM WATER PIPE
O2	OXYGEN
PG	PROPANE GAS
RD	ROOF DRAIN PIPE
	SOIL OR WASTE PIPE
S/O	SOIL / OIL WASTE PIPE
TWR	TOWER WATER RETURN
TWS	TOWER WATER SUPPLY
VAC	VACUUM
	VENT PIPE (V)

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

LINE TYPE	DESCRIPTION	LINE TYPE	DESCRIPTION
	PRESSURE REDUCING VALVE (PRV)		PIPE RISING UP
	GATE VALVE		PIPE DROPPING DOWN
	GLOBE VALVE		UNION - SCREWED OR FLANGED
	PLUG VALVE		PRESSURE TRANSMITTER OR PRESSURE SWITCH
	BUTTERFLY VALVE		THERMOMETER/TEMPERATURE INDICATOR
	BALL VALVE		GAUGE WITH GAUGE COCK/ PRESSURE INDICATOR
	SWING CHECK VALVE		BACKFLOW PREVENTOR (REDUCED ZONE)
	LIFT CHECK VALVE		BACKFLOW PREVENTOR (DOUBLE CHECK VALVE ASSEMBLY)
	GATE VALVE, ANGLE		WATER HAMMER ARRESTOR
	GLOBE VALVE, ANGLE		CIRCUIT SETTING
	TEMPERATURE AND PRESSURE RELIEF VALVE		HOSE BIBB
	RELIEF/SAFETY VALVE		ROOF DRAIN
	GAS COCK		FLOOR DRAIN
	GAS PRESSURE REGULATOR		AREA DRAIN
	STRAINER		FLOOR CLEAN OUT
	STRAINER WITH BLOW OFF VALVE		FLOOR SINK
	WATER HEATER		CLEAN OUT TO GRADE
	WATER METER		WALL CLEAN OUT
	PRESSURE GAGE		FLEXIBLE-CONNECTION
	TEMPERATURE GAGE		CHECK VALVE
			VACUUM BREAKER

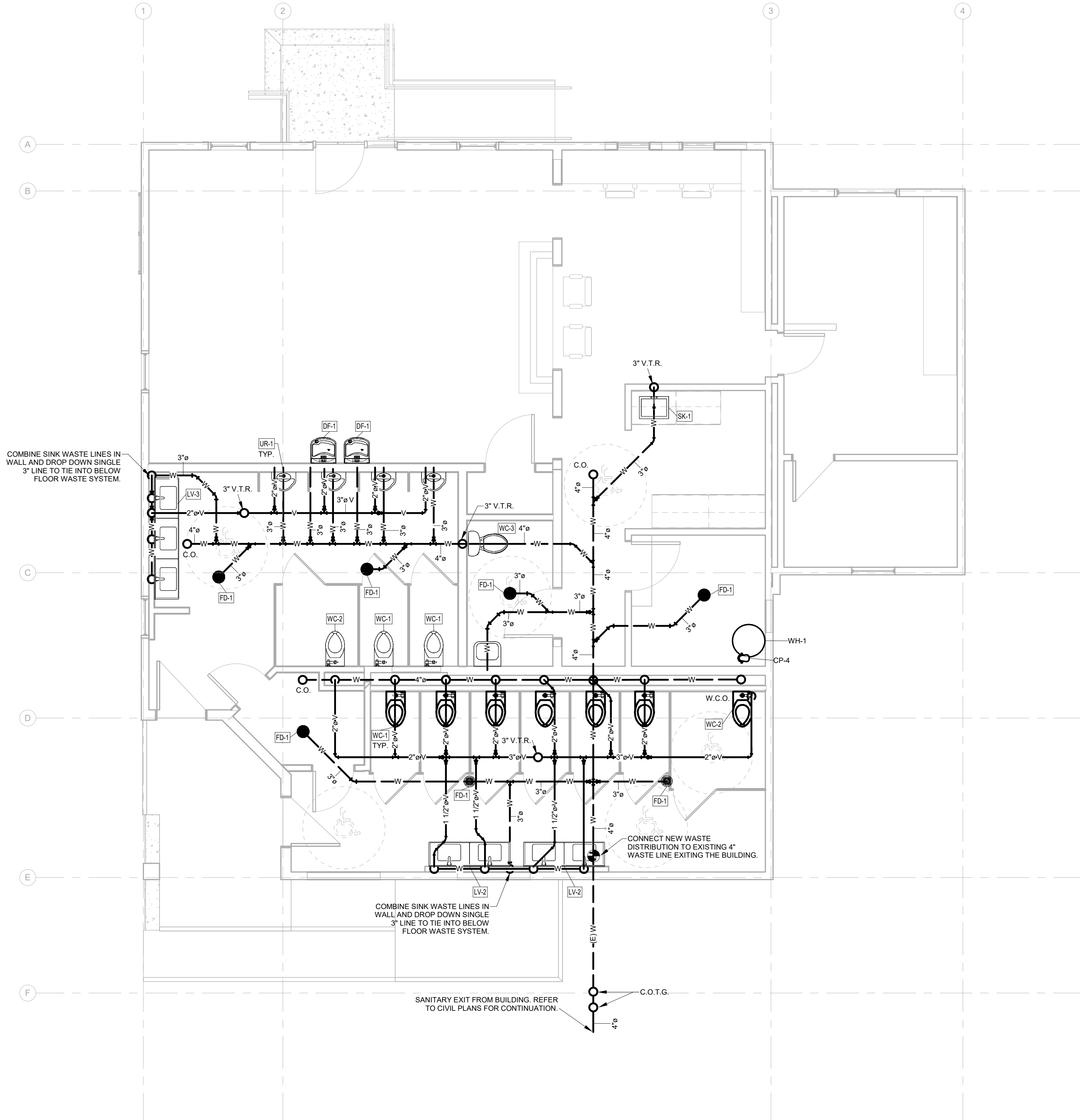


1. DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL. DRAWINGS DO NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, BRANCHING, ETC. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
2. PIPE DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL PIPING SHALL BE INSULATED PER 2018 IECC CODE REQUIREMENTS.
3. ALL PLUMBING FIXTURES WITH QUICK CLOSING VALVES ON DOMESTIC COLD/HOT WATER SHALL BE PROVIDED WITH WATER HAMMER ARRESTOR.
4. PROVIDE ISOLATION VALVES AT GROUP RESTROOMS TO ALLOW FOR TOTAL ISOLATION OF THE ENTIRE RESTROOM GROUP FROM THE REST OF THE DOMESTIC COLD, HOT AND HOT RE-CIRCULATION SYSTEMS.
5. ALL PLUMBING FIXTURES SHALL BE VENTED BY PLUMBING CONTRACTOR PER IPC REQUIREMENTS.
6. CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT/PLUMBING FIXTURES TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT/PLUMBING FIXTURES ARE PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT/FIXTURES. CONTRACTOR TO INSURE THAT FINAL PLUMBING SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
7. PLUMBING FIXTURE MANUFACTURERS AS SCHEDULED ON PLUMBING DRAWINGS ARE SUGGESTED MANUFACTURER'S AND MODELS. UNLESS NOTED OTHERWISE DUE TO OWNER/CITY REQUIREMENTS AND PREFERENCES. PLUMBING CONTRACTOR CAN SUBMIT EQUIVALENT FIXTURES FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED PLUMBING FIXTURES. ALL ALTERNATE MANUFACTURERS OF PLUMBING FIXTURES WILL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.





2/2/2024 11:06:34 AM C:\Users\Robert\Documents\22248 R23 - TOF Info Center MEP CENTRAL\_Robert\_S\_L.mxd



MAIN FLOOR PLUMBING WASTE/VENT  
PLAN

1  
P1-2  
SCALE: 1/4" = 1'-0"

PLUMBING GENERAL NOTES:

- DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL. DRAWINGS DO NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING, ETC. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
- PIPE DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL PIPING SHALL BE INSULATED PER 2019 IECC CODE REQUIREMENTS.
- ALL PLUMBING FIXTURES WITH QUICK CLOSING VALVES ON DOMESTIC COLD/HOT WATER SHALL BE PROVIDED WITH WATER HAMMER ARRESTOR.
- PROVIDE ISOLATION VALVES AT GROUP RESTROOMS TO ALLOW FOR TOTAL ISOLATION OF THE ENTIRE RESTROOM GROUP FROM THE REST OF THE DOMESTIC COLD, HOT AND HOT RE-CIRCULATION SYSTEMS.
- ALL PLUMBING FIXTURES SHALL BE VENTED BY PLUMBING CONTRACTOR PER IPC REQUIREMENTS.
- CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT/PLUMBING FIXTURES TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT/PLUMBING FIXTURES ARE PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT/FIXTURES. CONTRACTOR TO INSURE THAT FINAL PLUMBING SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
- PLUMBING FIXTURE MANUFACTURERS AS SCHEDULED ON PLUMBING DRAWINGS ARE SUGGESTED. MANUFACTURERS AND MODELS, UNLESS NOTED OTHERWISE DUE TO OWNER/CLIENT REQUIREMENTS AND PREFERENCES. PLUMBING CONTRACTOR CAN SUBMIT EQUIVALENT FIXTURES FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED PLUMBING FIXTURES. ALTERNATE MANUFACTURERS OF PLUMBING FIXTURES WILL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

pricing	2 feb 2024

PLUMBING -  
WASTE/VENT PLAN

draft

P1-2

























FIRE ALARM EQUIPMENT LEGEND	
	FIRE ALARM CONTROL PANEL
	FIRE ALARM PULL STATION
	FIRE ALARM HORN
	FIRE ALARM STROBE
	FIRE ALARM HORN&STROBE
	CEILING MOUNTED SPEAKER
	DUCT DETECTOR
	REMOTE LAMP
	SMOKE DETECTOR - PHOTOELECTRIC
	135° STANDARD HEAT DETECTOR
	PIR DETECTOR
	DOOR HOLD - MAGNETIC HOLD
	FLOW SWITCH
	TAMPER SWITCH

## COMMUNICATION LEGEND

	CLOCK ONLY
	CLOCK / PA SPEAKER WALL MOUNTED
	ROUND CEILING MOUNTED SPEAKER
	SQUARE SPEAKER
	INTERCOM PUSH TO CALL SWITCH
	WIRELESS ACCESS POINT ABOVE THE CEILING
	ABOVE THE CEILING PROJECTOR CONNECTION
	WALL MOUNTED HDMI
	PLAIN DATA OUTLET
	PLAIN DATA OUTLET WITH MOUNTING HEIGHT
	COMBINATION DATA/TELEPHONE
	FLOOR MOUNTED COMBINATION DATA/TELEPHONE
	CEILING MOUNTED COMBINATION DATA/TELEPHONE
	TELEVISION OUTLET

### SECURITY SYSTEM LEGEND

	SECURITY CAMERA
	ADA DOOR OPERATOR PUSH BUTTON
	ELECTRIC DOOR STRIKE
	CARD READER FOR DOOR OPERATOR

## LIGHTING LEGEND

NOTES:

SYMBOLS SHOWN ARE STANDARD, VARIATION AND/OR COMBINATIONS MAY BE USED ON THE PLANS. THIS LIST SHOWS STANDARD SYMBOLS AND ALL MAY NOT APPEAR ON THE PROJECT DRAWINGS; HOWEVER, WHEREVER THE SYMBOL ON THE PROJECT DRAWINGS OCCUR, THE ITEM SHALL BE PROVIDED AND INSTALLED.

VARIATION AND/OR COMBINATION MAY BE USED ON THE PLANS.




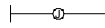
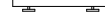







A NUMBER NEXT TO A RECEPTACLE OR DEVICE INDICATES A CIRCUIT NUMBER.

AN UPPER CASE LETTER NEXT TO A SWITCH INDICATES THE FUNCTION OF THE SWITCH, A LOWER CASE LETTER INDICATES THE SWITCH CIRCUIT.










AN UPPER CASE LETTER NEXT TO A LIGHT FIXTURE INDICATES THE TYPE OF FIXTURE. REFER TO THE LUMINAIRE SCHEDULE FOR FIXTURE SPECIFICATIONS. A LOWER CASE LETTER NEXT TO A LIGHT CORRESPONDS TO THE SWITCH DESIGNATION.

## SWITCHES


\$	SINGLE POLE SWITCH
\$ <sub>2</sub>	TWO POLE SWITCH
\$ <sub>3</sub>	THREE-WAY SWITCH
\$ <sub>4</sub>	FOUR-WAY SWITCH
\$ <sub>D</sub>	DIMMER SWITCH
\$ <sub>3D</sub>	3 WAY DIMMER SWITCH - (4D INDICATES A 4WAY DIMMER)
\$ <sub>DR</sub>	DOOR ACTIVATED SWITCH
\$ <sub>MA</sub>	WALL MOUNTED DUAL TECHNOLOGY MANUAL ON / AUTO OFF VACANCY SENSOR SWITCH
\$ <sub>L</sub>	LOW VOLTAGE LIGHT SWITCH
\$ <sub>M</sub>	MANUAL MOTOR STARTER
\$ <sub>P</sub>	PILOT LIGHT SWITCH
\$ <sub>OS</sub>	AUTO ON / AUTO OFF LIGHT SWITCH
\$ <sub>MO</sub>	DUAL TECHNOLOGY MOTION / OCCUPANCY SENSOR LIGHT SWITCH
\$ <sub>D</sub>	MANUAL ON / AUTO OFF DIMMING LIGHT SWITCH
\$ <sub>K</sub>	KEY OPERATED LIGHT SWITCH
\$ <sub>T</sub>	MANUAL ON - TIMED OFF LIGHT SWITCH
OS OS	CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH
MA MA	CEILING MOUNTED DUAL TECHNOLOGY MANUAL ON / AUTO OFF VACANCY SENSOR
\$ <sub>SC</sub>	SCENE CONTROL STATION
\$ <sub>MS</sub>	UNIT LIGHTING MANAGEMENT CONTROL STATION,

	1'x4' LED TROFFER OR DIRECT/INDIRECT TYPE FIXTURE GRID, FLANGE OR SURFACE MOUNTED
	2'x4' LED TROFFER OR DIRECT/INDIRECT TYPE FIXTURE GRID, FLANGE OR SURFACE MOUNTED
	2'x2' LED TROFFER OR DIRECT/INDIRECT TYPE FIXTURE GRID, FLANGE OR SURFACE MOUNTED
	OPEN STRIP FIXTURE
	WALL BRACKET LINEAR FIXTURE
	WALL MOUNTED SCONCE LIGHT FIXTURE
	RECESSED DOWNLIGHT CAN FIXTURE
	SURFACE CEILING OR PENDANT MOUNTED FIXTURE
EX2 	DOUBLE FACE EXIT SIGN, WALL AND CEILING MOUNTED
EX1 	SINGLE FACE EXIT SIGN, WALL AND CEILING MOUNTED
EM 	WALL MOUNTED EMERGENCY LIGHT
EMR 	EMERGENCY EXTERIOR EGRESS FIXTURE


## ELECTRICAL EQUIPMENT LEGEND

	BRANCH CIRCUIT PANELBOARD
	TELEPHONE TERMINAL BOARD
	ELECTRIC MOTOR
	FUSED SAFETY SWITCH / DISCONNECT COMBINATION
	MOTOR STARTER
	CONTACTOR
	CIRCUITRY HOMERUN: PANEL LA - CIR. #7
	CONDUIT OR WIRE CONCEALED IN WALL/CLG. (SOLID LINE TYPE)
	CONDUIT OR WIRE UNDER FLOOR/UNDERGND. (CENTER LINE TYPE)


# MAIN DISTRIBUTION GEAR




CIRCUIT BREAKER IN A PANEL BOARD




PAD MOUNTED UTILITY TRANSFORMER




FUSED DISCONNECT  
100A = AMP RATING  
2P = NUMBER OF POLES




100 A  
2 POLE  
FUSED DISCONNECT



ELECTRICAL METER SHOWN ON ONE-LINE DIAGRAMS



ELECTRICAL POWER PANEL WITH MAIN LUG OR MAIN BREAKER

















PP1 = PANEL NAME  
225A MLO = MAIN LUG OR BREAKER SIZE  
120/208V = PANEL VOLTAGE  
3PH, 4 WIRE = PANEL PHASE, DISTRIBUTION TYPE

PP1  
225A MCB  
120/208V  
3PH, 4W

PP1  
225A MLO  
120/208V  
3PH, 4W

# ELECTRICAL DEVICE LEGEND

	CEILING JUNCTION BOX - SURFACE/FLUSH
	WALL JUNCTION BOX - SURFACE/FLUSH
	DUPLEX RECEPTACLE
	FLOOR MOUNTED RECEPTACLE
	SPLIT WIRED DUPLEX RECEPTACLE
	CEILING MOUNTED DUPLEX RECEPTACLE
	FLOOR MOUNTED FOURPLEX RECEPTACLE
	APPLIANCE RECEPTACLE - 3 WIRE
	DUPLEX RECEPTACLE
	FOURPLEX RECEPTACLE
ABBREVIATIONS PERTAIN TO ALL DUPLEX AND FOURPLEX RECEPTACLES:	
AC	ABOVE COUNTER
AC GF	ABOVE COUNTER - GROUND FAULT CIRCUIT INTERRUPTER
AC USB	ABOVE COUNTER WITH USB PORT
AF	ARC FAULT PROTECTED
AF USB	ARC FAULT PROTECTED WITH USB PORT
AG GF	ARC FAULT WITH GROUND FAULT CIRCUIT INTERRUPTER
D	DEDICATED RECEPTACLE
D USB	DEDICATED RECEPTACLE WITH USB PORT
D USB EM	RECEPTACLE CIRCUITED TO THE EMERGENCY PANEL WITH RED COVER PLATE
GF	GROUND FAULT CIRCUIT INTERRUPTER
GF WP	WEATHER PROOF GROUND FAULT CIRCUIT INTERRUPTER
PL	PLUG LOAD
72"	GENERAL PURPOSE WITH MOUNTING HEIGHT.
	ELECTRIC HAND DRYER
	THERMOSTAT
	OPEN/CLOSE/STOP PUSH BUTTON
	DRAWING KEY NOTES
ROOM 100	ROOM DESIGNATION


RESPONSIBLE DIVISION:				
UNLESS OTHERWISE INDICATED ALL HEATING, VENTILATING, AIR CONDITIONING, PLUMBING, AND OTHER MECHANICAL EQUIPMENT, MOTORS, AND CONTROLS SHALL BE FURNISHED, SET IN PLACE AND WIRED AS FOLLOWS:				
ITEM	FURNISHED	SET	POWER WIRED	CONTROL WIRED
EQUIPMENT	23	23	26	--
COMBINATION MAGNETIC MOTOR STARTERS, MAGNETIC MOTOR STARTERS, VFD'S AND CONTACTORS	23(1)	26	26(2)	23
FUSED AND UNFUSED DISCONNECT SWITCHES, THERMAL OVERLOAD SWITCHES AND HEATERS, MANUAL MOTOR STARTERS	26	26	26	--
MANUAL-OPERATING AND MULTI-SPEED SWITCHES	23	26	26	26
CONTROL S, RELAYS, TRANSFORMERS	23	23	26	23
THERMOSTATS (LOW VOLTAGE) AND TIME SWITCHES	23	23	26	23
THERMOSTATS (LINE VOLTAGE)	23	23	26	26
TEMPERATURE CONTROL PANELS	23	23	26	23
MOTOR AND SOLENOID VALVES, DAMPER MOTORS, PE & EP SWITCHES	23	23(2)	--	23(2)
PUSH-BUTTON STATIONS AND PILOT LIGHTS	23	23(2)	--	23(2)
HEATING, COOLING, VENTILATION AND AIR CONDITIONING CONTROLS	23	23	26	23
EXHAUST FAN SWITCHES	23	26	26	23(2)

**SUBSCRIPT FOOTNOTES:**

1. MOTOR STARTER TO INCLUDE CONTROL TRANSFORMER, HOA SWITCH, (1) NO AND (1) NC AUXILIARY CONTACT, AND "ON" AND "OFF" PILOT LIGHTS.
2. IF ITEM IS FOR LINE VOLTAGE, SET IN PLACE AND CONNECT UNDER DIVISION 26. WHERE FACTORY MOUNTED ON EQUIPMENT OR ATTACHED TO PIPING OR DUCTS AND USING LINE VOLTAGE FURNISH AND SET UNDER DIVISION 23. CONNECT UNDER DIVISION 26.


## ABBREVIATIONS:

44'	MOUNTING HEIGHT ABOVE FINISHED FLOOR TO CENTER OF DEVICE	DIFF	DIFFERENTIAL DISCHARGE
AD	AMPS	DIS	DIVISION
AD	ACCESS DOOR	DN	DOWN
ADV	AIR ADMITTANCE VALVE	DS	DUCT SILENCER
ABV	ABOVE	DW	DRAWING
AC	AIR CONDITIONING UNIT	DX	DIRECT EXPANSION
AC	AIR COOLER	(E)	EXISTING
AD	AREA DRAIN (SEE SYMBOLS)	EA	EXHAUST AIR GRILL/REGISTER
A.F.C.	ABOVE FINISHED CEILING	EAT	ENTERING AIR TEMPERATURE
A.F.G.	ABOVE FINISHED GRADE	EC	ELECTRICAL CONTRACTOR
AC	AMPS INTERRUPTING CAPACITY	ECC	ECCENTRIC
FF	ABOVE FINISHED FLOOR	EE	EXHAUST FAN
AHU	AIR HANDLING UNIT	EFF	EFFICIENCY
ALUM	ALUMINUM	EL	ELEVATION
AP	ACCESS PANEL OR DOOR	ELEC	ELECTRIC
ATS	AUTOMATIC TRANSFER SWITCH	ELEV	ELEVATOR
AV	AUDIO / VIDEO	EM	EMERGENCY FUNCTION
AVG	AVERAGE	EN	ENTERING
AWG	AMERICAN WIRE GAGE	EMT	ELECTRIC METALLIC TUBE
BS	BUILDING AUTOMATION SYSTEM	EQ	EQUAL
BAS	BASEBOARD	EQUIP	EQUIPMENT
BD	BAD DRAFT DAMPER	EQUIV	EQUIVALENT
BFP	BAD FLOW PREVENTOR	ES	END SWITCH
BL	BOILER	ESP	EXTERNAL STATIC PRESSURE
BLD	BUILDING	EXP	EXPANSION TANK
BLW	BELOW	EW	ELECTRIC WATER COOLER
BOB	BOTTOM OF BEAM	EWT	ENTERING WATER TEMPERATURE
BD	BOTTOM OF DUCT	EX	EXHAUST
BOP	BOTTOM OF PIPE	EXP	EXPANSION
BSMT	BASEMENT	EXT	EXTERNAL
BTU	BRITISH THERMAL UNIT	F	FAHRENHEIT
C	CELLER	F	FREE AREA
CA	CAPACITY	FC	FAN COIL UNIT
CB	CIRCUIT BREAKER	FC	FAN COIL
CB	CIRCUIT BALANCING VALVE	FC	FAN COIL
CC	CORRELATED COLOR TEMPERATURE	FCV	FLOW CONTROL VALVE
CKT	CIRCUIT	FD	FIRE DAMPER
CFM	CUBIC FEET PER HOUR	FD	FIRE DRAIN
CFM	CUBIC FEET PER MINUTE	FIN	FINISHED
CHWR	CHILLED WATER RETURN	FLA	FULL LOAD AMPS
CHWS	CHILLED WATER SUPPLY	FLX	FLEXIBLE
CI	CAST IRON	FLOOR	FLOOR
CL	CENTER LINE	FOB	FLAT BOTTOM
CLG	CEILING	FOF	FLAT ON TOP
CC	CONCRETE MASONRY UNIT	FR	FIRE PROTECTION
CO	CLEAN OUT	FR	FIRE RUMP
COL	COLUMN	FS	FEET PER MINUTE
COMP	COMPRESSOR	FPS	FEET PER SECOND
CONC	CONCRETE	FS	FLOW SWITCH
COND	CONDENSATE	FSD	FIRE/SMOKE DAMPER
CON	CONNECTION	FT	FEET
CON	CONNECTION	FXC	FLEXIBLE CONNECTION
CON	CONNECTION	GR	GROUND
CONTR	CONTRACTOR	GAL	GALLON
CRI	COLOR RENDERING INDEX	GAL	GALLON
CT	COOLING TOWER	GALV	GALVANIZED
CT	CURRENT TRANSFORMER	GE	GROUND ELECTRODE
CU	CUPENSING UNIT	CONDUCTOR	CONDUCTOR
CU	CUPENSING UNIT	GFCI / GFI	GROUND FAULT CIRCUIT INTERRUPTER
CU	CUPENSING UNIT	SC	GENERAL CONTRACTOR
CVB	CONSTANT VOLUME BOX	GA	GALLONS PER HOUR
CD	CONDENSER WATER RETURN	GPM	GALLONS PER MINUTE
CWS	CONDENSER WATER SUPPLY	GRSLB	GRASS PER POUND
DB	DRY BULB	GRSLB	GRASS PER POUND
DEPT	DEPARTMENT	H <sub>2</sub> O	WATER
DF	DRINKING FOUNTAIN	HB	HOSE BIBB
DI	DIAMETER	HD	HEAD (SEE SCHEDULES)
DIAG	DIAGRAM	HP	HEAT PUMP
		HP	HORSEPOWER



**Bighorn Consulting Engineers, Inc.**  
Mechanical & Electrical Engineers

386 Indian Road  
Grand Junction, CO 81501  
Phone: (970) 241-8709



**STAIR**  
**ARCHITECTURE**  
**& INTERIORS**

409 east main street  
p o box 4175  
frisco , colorado 80443  
970 453 0444

**SUBSTITUTIONS:**

SUBSTITUTIONS:

A. SUBSTITUTIONS: SUBSTITUTION OF SPECIFIED EQUIPMENT WILL BE ALLOWED THROUGH A PRIOR APPROVAL PROCESS INITIATED BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT INTENDED SUBSTITUTION AT LEAST FIVE DAYS PRIOR TO BID FOR APPROVAL FROM ENGINEER. SUBMITTAL SHALL INCLUDE CAPACITIES, DIMENSIONS AND OPERATING INSTRUCTIONS FOR EACH PIECE OF EQUIPMENT. SUBSTITUTION SHALL OCCUR AT NO COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF APPROVED SUBSTITUTION AND SHALL INCUR ALL COSTS ASSOCIATED WITH THE SUBSTITUTION INCLUDING STRUCTURAL MODIFICATIONS, SPACE LAYOUT AND REDESIGN COSTS. SEE ALSO DIVISION I GENERAL REQUIREMENTS.

EXAMINATION OF SITE, DRAWINGS, SPECIFICATIONS:

A. EXAMINE CAREFULLY THE SITE AND CONDITIONS OF THE SITE. PROVIDE ALL NECESSARY EQUIPMENT AND LABOR TO INSTALL A COMPLETE WORKING SYSTEM WITHIN THE SITE CONDITIONS.

**B. EXAMINE THE DRAWINGS AND SPECIFICATIONS AND 5 DAYS PRIOR TO BIDDING REPORT ANY ERRORS, OMISSIONS, INCONSISTENCIES, AND CONFLICTS TO THE ENGINEER TO BE REMEDIED IN AN ADDENDUM TO THE PROJECT PRIOR TO BID TIME.**

C. DRAWINGS ARE DIAGRAMMATIC AND CATALOG NUMBERS GIVEN ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE CAPACITY OF THE EQUIPMENT MEETS THE DRAWING REQUIREMENTS AND SHALL NOT DIMENSION FROM THE MECHANICAL, PLUMBING, OR PIPING DRAWINGS.

D. THE LATEST ADOPTED VERSIONS OF THE INTERNATIONAL BUILDING CODES SHALL BE USED AS REQUIRED. THIS WILL ALSO INCLUDE THE LATEST ADOPTED VERSIONS OF THE MECHANICAL, PLUMBING AND ENERGY CONSERVATION CODES. ALL METHODS AND MATERIALS REQUIRED BY THESE CODES SHALL BE REQUIRED BY THESE SPECIFICATIONS UNLESS INDICATED OTHERWISE. OTHER APPLICABLE LOCAL CODES AND ORDINANCES SHALL BE AS REQUIRED AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THESE REQUIREMENTS.

E. WHERE INSTALLATION PROCEDURES OR ANY PART THEREOF ARE REQUIRED TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL BEING INSTALLED, PRINTED COPIES OF THESE RECOMMENDATIONS SHALL BE FURNISHED TO THE ENGINEER PRIOR TO INSTALLATION. INSTALLATION OF THE ITEM WILL NOT BE ALLOWED TO PROCEED UNTIL THE RECOMMENDATIONS ARE RECEIVED. FAILURE TO FURNISH THESE RECOMMENDATIONS CAN BE CAUSE FOR REJECTION OF THE MATERIAL.

TAC PACKAGED TERMINAL AIR  
 CONDITIONER  
 TCV PLUG VALVE  
 PVC POLYVINYL CHLORIDE  
 QTY QUANTITY  
 R RETURN AIR GRILLE / REGISTER  
 RCD REFLECTED CEILING PLAN  
 RD ROOF DRAIN  
 REL RELIEF  
 REQ REQUIRED  
 RF RETURN FAN  
 RH RELATIVE HUMIDITY  
 RHC REHEAT COIL  
 RLA RATED LOAD AMPS  
 RM ROOM  
 RPL ROOMS PER MINUTE  
 SA SUPPLY AIR GRILLE / REGISTER  
 SC SHORT CIRCUIT  
 SCV SHORT CIRCUIT AVAILABLE  
 SCOR SHORT CIRCUIT CURRENT  
 RATING  
 SD SCHEDULE  
 SD SMOKE DAMPER  
 SEF SMOKE EXHAUST FAN  
 SF SUPPLY FAN  
 S SENSIBLE  
 SH SHOWER  
 SP STATIC PRESSURE  
 SPR SPRINKLER PROTECTION DEVICE  
 SPEC SPECIFICATION  
 SQ SQUARE  
 SS STAINLESS STEEL  
 SS SAFETY SHOWER  
 STD STANDARD  
 ST STEEL  
 SV SYSTEM  
 TEMP TEMPERATURE  
 TR TRANSFER GRILLE / REGISTER  
 TR AMPER RESISTANT  
 TT TEMPERATURE TRANSMITTER  
 TTB TELECOMMUNICATIONS  
 TB TERMINAL BACKBOARD  
 TYP TYPICAL  
 TX TRANSFORMER  
 U UNDERCUT DOOR  
 UNH UNIT HEATER  
 UNO UNLESS NOTED OTHERWISE  
 UNO UNOCCUPIED  
 UR URINAL  
 V VOLTS  
 VA VOLT/AMPERE  
 V VALVE  
 VAV VARIABLE AIR VOLUME UNIT  
 VFD VARIABLE FREQUENCY DRIVE  
 VREF REFRIGERANT FLOW  
 VOLT VOLTAGE  
 VTR VENT THROUGH ROOF  
 W WATTS  
 W WITH  
 WO WITHOUT  
 WB WET BULB  
 WC WATER COLUMN  
 W WATER CLOSET  
 WG WATER GAUGE  
 WP WEATHERPROOF  
 WPIR WEATHERPROOF IN-USE  
 WITHSTAND RATING  
 XFLR TRANSFORMER

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

[illegible]

ELECTRICAL COVER  
SHEET

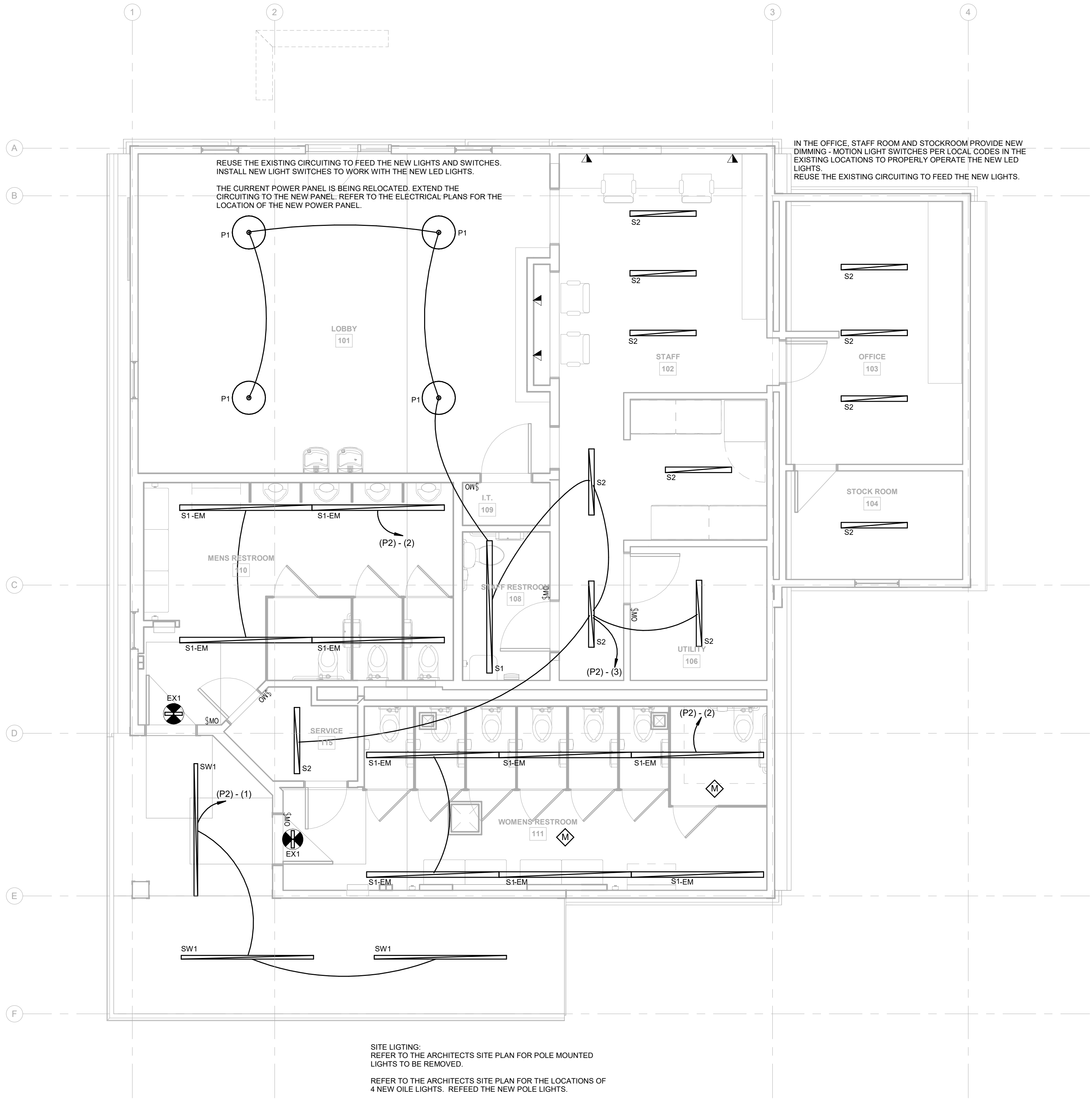
**draft**

**E0-1**

ELECTRICAL SHEET LIST	
Sheet Number	Sheet Name
E0-1	ELECTRICAL COVER SHEET
E1-1	LIGHTING PLANS
E1-2	LIGHTING - DETAILS
E2-1	POWER PLANS
E3-1	ELECTRICAL SCHEDULES
E3-2	ELECTRICAL DETAILS



2/2/2024 11:04:33 AM C:\Users\Owner\Documents\22248 R23 - TOF Info Center MEP CENTRAL\_annaMG9WE.rvt



1  
E1-1  
MAIN FLOOR LIGHTING PLAN  
SCALE: 1/8" = 1'-0"

old town hall park &  
vic renovations

300 east main street  
frisco , colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

pricing	2 feb 2024

LIGHTING PLANS

draft

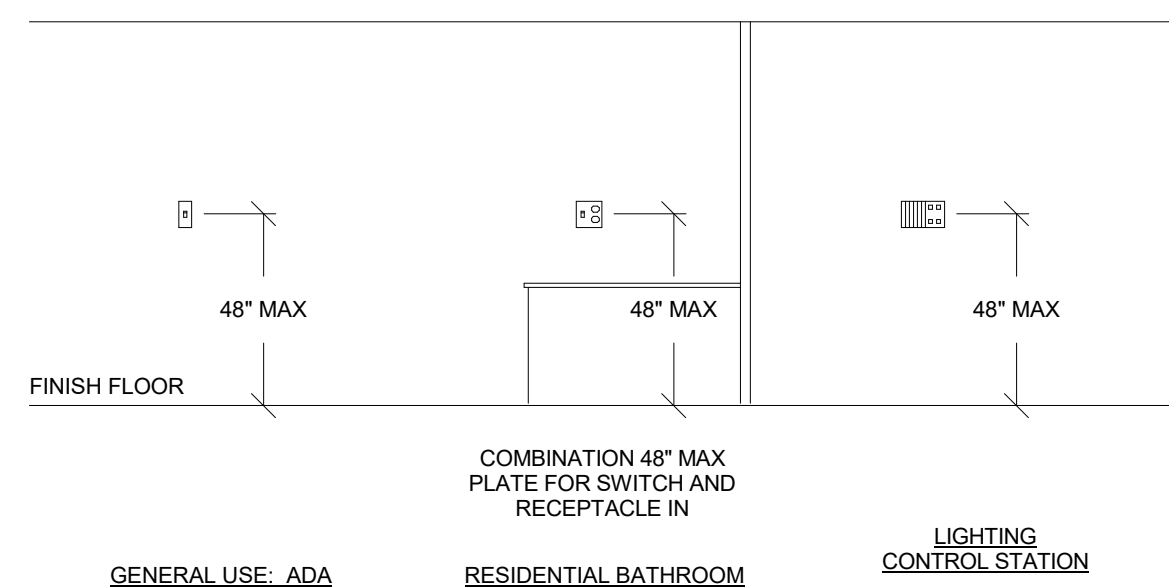
E1-1





NOT TO SCALE

- DETAIL NOTES:
1. PROVIDE SWITCHERS THAT ARE COMPATIBLE WITH THE LIGHT FIXTURES THAT ARE BEING INSTALLED.
  2. PROVIDE DUAL CONTROL IN THE CORRIDORS AND ALL ROOMS WITH MORE THAN ONE DOOR.
  3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXACT LOCATION OF THE SWITCHES WITH THE ARCHITECTURAL DETAILS OF THE SPACE.



SCALE: NOT TO SCALE



NOT TO SCALE



- DETAIL NOTES:**
- 1. ALL DEVICES SHOWN ON THIS DETAIL ARE FOR REFERENCES OF MOUNTING HEIGHTS ONLY. THE ELECTRICAL CONTRACTOR SHALL FIELD ADJUST THE HEIGHTS AND LOCATIONS OF THE DEVICES AS REQUIRED FOR PROPER MOUNTING.
  - 2. ALL DEVICES REQUIRED FOR THIS PROJECT MAY NOT APPEAR ON THIS DETAIL. ALL ITEMS SHOWN ON THIS DETAIL MAY NOT BE REQUIRED FOR THIS PROJECT.
  - 3. THE AMERICANS WITH DISABILITIES ACT, KNOWN AS ADA, AFFECTS LIGHT FIXTURES USED IN CIRCULATION OR EGRESS SPACES. IN PRACTICE THIS MEANS THAT WALL MOUNTED FIXTURES LOCATED BELOW 6'-8" AFF IN HALLS, CORRIDORS, PASSAGEWAYS OR AISLES, MUST BE NO GREATER THAN 4" DEEP. THE ADA AFFECTS CONSTRUCTION FOR BOTH NEW AND EXISTING BUILDINGS.

NOTES:

1. ALL LIGHTING FIXTURES DENOTED WITH "EM" SHALL BE INSTALLED TO PROVIDE THE REQUIRED LIGHT LEVELS ALONG THE PATH OF EGRESS PER ALL LOCAL CODES.  
2. FIELD ADJUST THE LOCATION OF EXIT SIGNS FOR THE BEST VISIBILITY POSSIBLE. INSTALL THE NUMBER OF FACES REQUIRED AT EACH EXIT. ALL EXIT LIGHTS SHALL COMPLY WITH ALL LOCAL CODES.

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

[illegible]

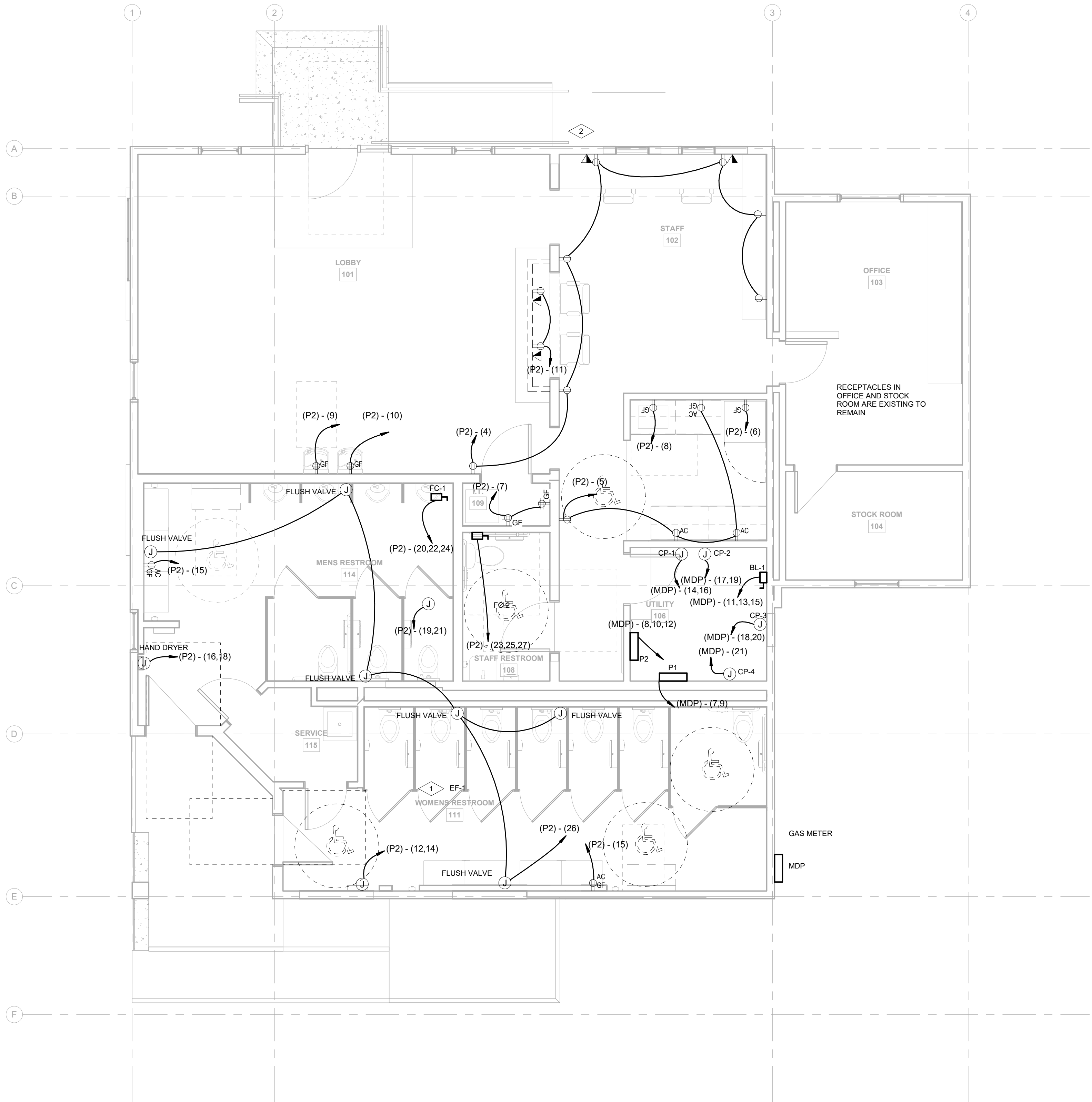
## LIGHTING - DETAILS

draft

## E1-2



2/2/2024 11:04:33 AM C:\Users\Owner\Documents\22248 R23 - TOF Info Center MEP CENTRAL AnnaMG9WE.rvt



02 ELECTRICAL KEYNOTES	
Note Number	Note Text
1	EXHAUST FAN TO REMAIN ON DURING HOURS OF OCCUPANCY.
2	PROVIDE SEPARATE CIRCUIT & CONDUIT UNDER SIDEWALK TO PROVIDE POWER FOR EXISTING TOWN CLOCK ON MAIN STREET

**STAIS**  
ARCHITECTURE  
& INTERIORS

409 east main street  
p o box 4175  
frisco . colorado 80443  
970 453 0444

STAISARCHITECTS.COM

old town hall park &  
vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

pricing	2 feb 2024

POWER PLANS

draft

E2-1



Branch Panel: MDP

Location:

Supply From:

Mounting: Surface

Enclosure: Type 1

Volts: 120/208 Wye

Phases: 3

Wires: 4

A.I.C. Rating: 22KAIC

Mains Type:

Mains Rating: 600 A

MCB Rating: 600 A

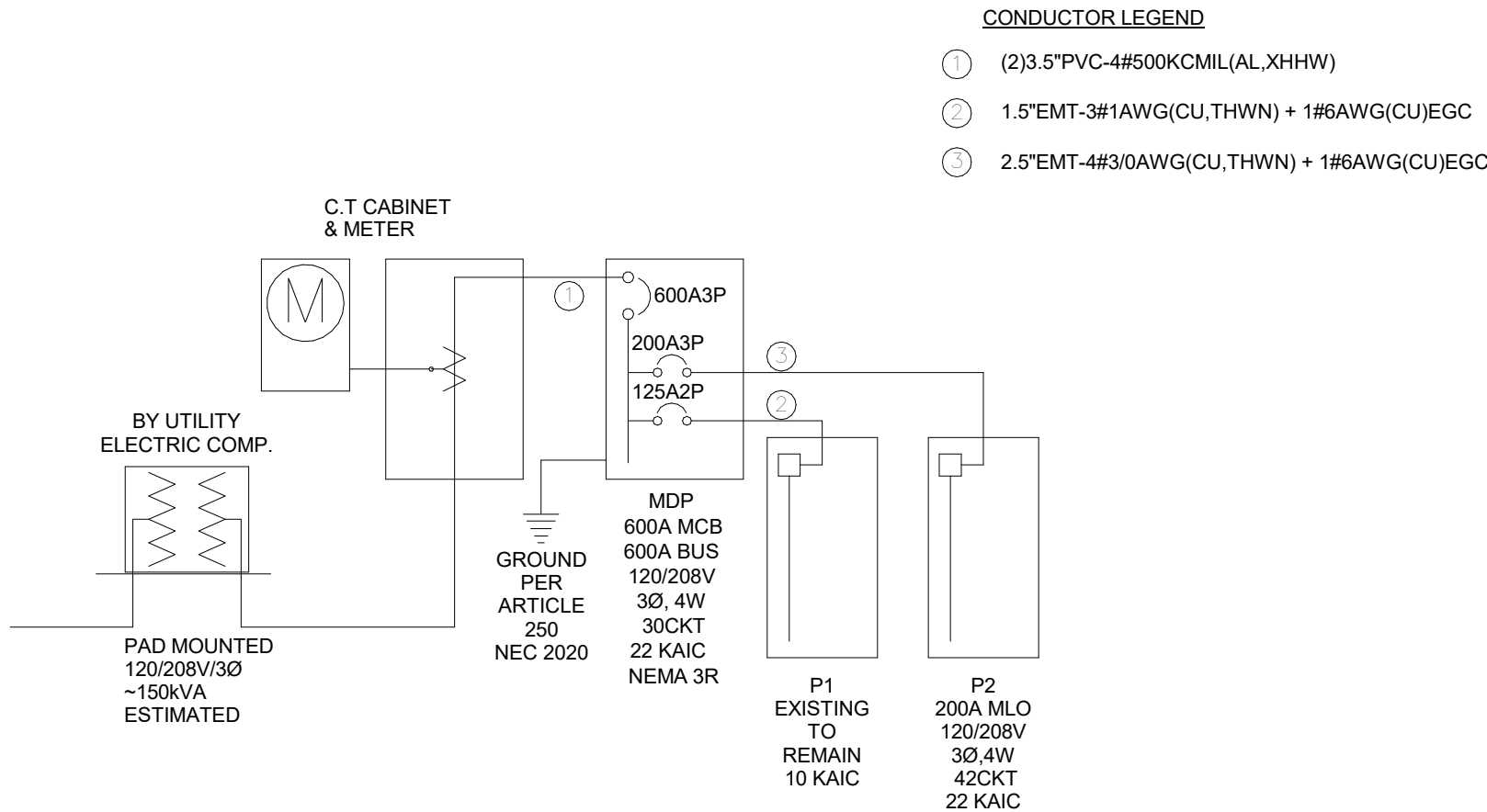
Notes:

CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	SPRINKLER TIMER	20 A	1	2400...	2400...					1	20 A	PHOTO CELL	2
3	HEAT TAPE	20 A	1			2400...	2400...			1	20 A	OUTLETS	4
5	OUTLETS	20 A	1					2400...	2400...	1	20 A	LANDSCAPE RECEPTACLE	6
7	P1	125 A	2	1509...	19989...					3	200 A	P2	8
9	--	--	--			1509...	1987...			--	--	--	10
11	ELECTRIC BOILER BL-1	350 A	3					30023...	1746...	--	--	--	12
13	--	--	--	3002...	624 VA					2	20 A	CP-1	14
15	--	--	--			3002...	624 VA			--	--	--	16
17	CP-2	20 A	2					624 VA	624 VA	2	20 A	CP-3	18
19	--	--	--	624 VA	624 VA					--	--	--	20
21	CP-4	20 A	1			120 VA							22
23													24
25													26
27													28
29													30
Total Load:				71774 VA		70532 VA		53535 VA					
Total Amps:				620 A		610 A		446 A					

Legend:

Load Classification	Connected Load	Demand Factor	Estimated Demand	Panel Totals	
HVAC	136810 VA	100.00%	136810 VA		
Lighting	7866 VA	100.00%	7866 VA	Total Conn. Load:	195840 VA
Motor	864 VA	100.00%	864 VA	Total Est. Demand:	183730 VA
Power	16082 VA	100.00%	16082 VA	Total Conn.:	544 A
Receptacle	34220 VA	64.61%	22110 VA	Total Est. Demand:	510 A

Notes:



## ELECTRICAL - ONE LINE DIAGRAM

SCALE: NO SCALE

### ELECTRICAL NOTES

1. NO ELECTRICAL EQUIPMENT SHALL BE INSTALLED WITHIN 3FT OF GAS REGULATOR PER UTILITY STANDARDS. INSTALLATION TO COMPLY WITH ALL APPLICABLE CLEARANCE REQUIREMENTS.
2. CONTRACTOR TO LOAD MONITOR EXISTING PANEL (P1) PER 2020 NEC 220.87 REQUIREMENTS TO DETERMINE EXISTING LOAD DOES NOT EXCEED 23,920VA (115A @ 208V 1 PHASE).
3. CONTRACTOR TO FIELD VERIFY THAT EXISTING PANEL (P1) HAS MINIMUM RATING OF 10KAIC.
4. ALL COVER PLATES, OUTLETS, SWITCHING, ETC. TO BE A BLACK FINISH.

Branch Panel: P2													
Location: UTILITY 106						Volts: 120/208 Wye				A.I.C. Rating: 22KAIC			
Supply From: MDP						Phases: 3				Mains Type:			
Mounting: Surface						Wires: 4				Mains Rating: 200 A			
Enclosure: Type 1										MCB Rating: MLO			
Notes:													
CKT	Circuit Description	Trip	Poles	A		B		C		Poles	Trip	Circuit Description	CKT
1	Lighting	20 A	1	201 VA	656 VA					1	20 A	BATHROOM LIGHTING	2
3	MAIN AREA LIGHTING	20 A	1			789 VA	1260...			1	20 A	LOBBY RECEPTACLE	4
5	STAFF AREA RECEPTACLE	20 A	1					720 VA	360 VA	1	20 A	REFRIGERATOR	6
7	IT RECEPTACLE	20 A	1	720 VA	864 VA					1	20 A	DISPOSAL	8
9	WATER FOUNTAIN 1	20 A	1			370 VA	370 VA			1	20 A	WATER FOUNTAIN 2	10
11	STAFF DESK RECEPTACLE	20 A	1					360 VA	213 VA	2	20 A	HAND DRYER WOMENS RESTROOM	12
13					213 VA					--	--	--	14
15	RESTROOM RECEPTACLE	20 A	1			360 VA	213 VA			2	20 A	HAND DRYER MENS RESTROOM	16
17	EXHAUST FAN MENS RESTROOM	20 A	1					792 VA	213 VA	--	--	--	18
19	FC-1	15 A	2	728 VA	12009...					3	100 A	FC-1 ELECTRIC HEAT	20
21	--	--	--			728 VA	1200...			--	--	--	22
23	FC-2	20 A	3					1798...	1200...	--	--	--	24
25	--	--	--	1798...	1800...					1	20 A	FLUSH VALVE	26
27	--	--	--			1798...	1000...			1	20 A	EXISTING TOWN CLOCK	28
29								1000...		1	20 A	SPARE	30
31					1000...					1	20 A	SPARE	32
33						1000...				1	20 A	SPARE	34
35													36
37													38
39													40
41													42
				Total Load:		19989 VA		19875 VA		17464 VA			
				Total Amps:		170 A		169 A		146 A			
Legend:													
Load Classification				Connected Load		Demand Factor		Estimated Demand		Panel Totals			
HVAC				42877 VA		100.00%		42877 VA					
Lighting				1635 VA		100.00%		1635 VA		Total Conn. Load: 57327 VA			
Motor				864 VA		100.00%		864 VA		Total Est. Demand: 57327 VA			
Power				7442 VA		100.00%		7442 VA		Total Conn.: 159 A			
Receptacle				4520 VA		100.00%		4520 VA		Total Est. Demand: 159 A			
Notes:													

### old town hall park & vic renovations

300 east main street  
frisco . colorado

PROJECT # 2129

© COPYRIGHT  
AS AN UNPUBLISHED WORK, ANY REPRODUCTION  
OR REUSE WITHOUT WRITTEN CONSENT IS  
PROHIBITED.  
ISSUE: 100% REVIEW  
11/15/2023

pricing	2 feb 2024

### ELECTRICAL SCHEDULES

draft

E3-1



[illegible]