

GENERAL NOTES

- WATER SHALL BE USED AS A DUST PALLIATIVE WHERE REQUIRED. LOCATIONS SHALL BE AS ORDERED BY ENGINEER OR OWNER. CONTRACTOR SHALL PROVIDE WATER FOR DUST CONTROL. DUST CONTROL IS INCIDENTAL TO THE CONTRACT.
- THE TYPE OF COMPACTION USED FOR THIS PROJECT WILL BE AASHTO T99 (ASTM 698). ALL COMPACTION TO COMPLY WITH GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- THE TYPES, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF WORK PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO COORDINATE SCHEDULES FOR UTILITY WORK.
- PROPERTY AND RIGHT OF WAY BOUNDARIES ARE APPROXIMATE BASED ON PLATTED INFORMATION PROVIDED BY PROJECT SURVEYOR. ALL PROPERTY AND RIGHT OF WAY MARKERS ARE TO BE SURVEYED PRIOR TO DISTURBANCE OF ANY PROPERTY CORNER. CONTRACTOR MUST NOTIFY ENGINEER FOR VERIFICATION OF MONUMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLANS THAT ARE IN CONFLICT WITH THE IMPROVEMENTS.
- ALL TEMPORARY ROADWAY, DRIVEWAY AND SIDEWALK PATCHING IS CONSIDERED INCIDENTAL TO THE CONTRACT. ALL TEMPORARY PATCHES MUST BE MAINTAINED BY THE CONTRACTOR.
- WORKING HOURS SHALL BE PER THE TOWN OF FRISCO NOISE ORDINANCE 127-53.
- ALL TRAFFIC CONTROL DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION WITH CURRENT SUPPLEMENTS.
- CONSTRUCTION STAKING SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL ASPHALT AND CONCRETE PAVEMENT REMOVED FOR CONSTRUCTION SHALL BE SAWCUT.
- ANY ADDITIONAL PAVEMENT REQUIRED TO BE REMOVED FOR CONSTRUCTION OVER THE AREAS SHOWN ON THE PLANS IS CONSIDERED INCIDENTAL TO THE CONTRACT.
- PULL STRINGS TO BE PROVIDED IN ALL CONDUIT INSTALLED.
- OWNER SHALL HAVE A BENCHMARK AND PROJECT CONTROL POINTS SET AT BEGINNING OF PROJECT TO USE FOR CONSTRUCTION STAKING BY CONTRACTOR.
- ALL UTILITY STUBS SHALL BE MARKED WITH A 4" X 4" WOOD POST EXTENDING 4' ABOVE PROPOSED GRADE. THE POST SHALL BE PAINTED GREEN FOR SEWER, BLUE FOR WATER SERVICES AND WHITE FOR ANY OTHER UTILITIES. CONTRACTOR SHALL MAINTAIN AS BUILTS TO ALL UTILITY STUB LOCATIONS AND CONDUIT ENDS WITH TIES TO EXISTING REFERENCE POINTS AND SURVEY LOCATION BASED ON SURVEYOR'S COORDINATE SYSTEM.
- CONTRACTOR SHALL PROVIDE ALL PERMITS REQUIRED FOR CONSTRUCTION EXCEPT FOR THE PERMITS PROVIDED BY OWNER, AS IDENTIFIED IN CONTRACT DOCUMENTS.
- ALL TRAFFIC CONTROL WORK SHALL BE SUPERVISED BY A CERTIFIED TRAFFIC CONTROL OFFICER.
- ALL BASE MAPPING INFORMATION WAS PROVIDED BY SUMMIT LAND SURVEYING, INC., DATED OCTOBER 2021 AND UPDATE JANUARY 2023.
- THE TOWN OF FRISCO PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- SEE SPECIFICATIONS FOR GEOTECHNICAL REQUIREMENTS. GEOTECHNICAL ENGINEER TO CONFIRM REQUIREMENTS OF SUBGRADE FOR SUPPORT OF THE PAVEMENT SECTION DURING CONSTRUCTION.
- ALL WORK ZONE TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE CURRENT COLORADO SUPPLEMENTS, AND THE APPROVED PLANS AND SPECIFICATIONS. A METHOD OF HANDLING TRAFFIC (MHT) SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL NO LATER THAN 2 WEEKS PRIOR TO IMPLEMENTATION. NO LANE CLOSURE ON ANY TOWN STREET WILL BE ALLOWED PRIOR TO THE ENGINEER'S WRITTEN APPROVAL OF THE MHT.
- FOR ALL NEW PAVEMENT, ALL STOP BARS, AND CROSS WALKS, WORDS AND SYMBOLS SHALL BE PREFORMED THERMO-PLASTIC MARKINGS. THESE MARKINGS SHALL BE INLAID INTO THE SURFACE COURSE OF ASPHALT DURING ASPHALT PLACEMENT.
- PUBLIC TRAFFIC SHALL BE PROVIDED PASSAGE TO ACCESSSES, FLAGGERS SHALL BE USED AS NECESSARY. WHEN FLAGGERS ARE USED, W20-2a SIGNS SHALL BE PLACED 200' IN ADVANCE OF THE STATION.
- ALL TRAFFIC CONTROL SHALL HAVE RETROREFLECTIVE SHEETING PER 1996 REVISION OF SECTION 614 & 630 OF THE ROAD AND BRIDGE SPECIFICATIONS. SEE CDOT M&S STANDARDS, S-630-1, SHEETS 8, 9 & 10
- THE CONTRACTOR SHALL OBTAIN AN EXCAVATION/ RIGHT OF WAY PERMIT FROM THE TOWN OF FRISCO PRIOR TO COMMENCING WITH ANY WORK WITHIN THE TOWN STREET RIGHT OF WAYS. ANY LANE OR ROAD CLOSURES PROPOSED BY THE CONTRACTOR MUST BE APPROVED BY THE TOWN OF FRISCO.
- TETRA TECH IS NOT RESPONSIBLE FOR SAFETY, IN, ON, OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS THERE TO.
- TETRA TECH EXERCISES NO CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS, OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERVISION OF THE SAME.
- TECHNICAL SPECIFICATIONS FOR CIVIL INFRASTRUCTURE IMPROVEMENTS ARE PROVIDED UNDER SEPARATE COVER AND ARE INTEGRAL TO THE DRAWINGS AND THE WORK FOR THIS PROJECT.
- PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE OR FILL, THE EXPOSED SUBGRADE SOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 12", CONDITIONED TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT AND PROPERLY COMPACTED. THIS REQUIREMENT APPLIES TO ALL NEW PAVEMENT AND GRAVEL SURFACED AREAS TO BE CONSTRUCTED FOR THIS PROJECT.

TETRA TECH ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.



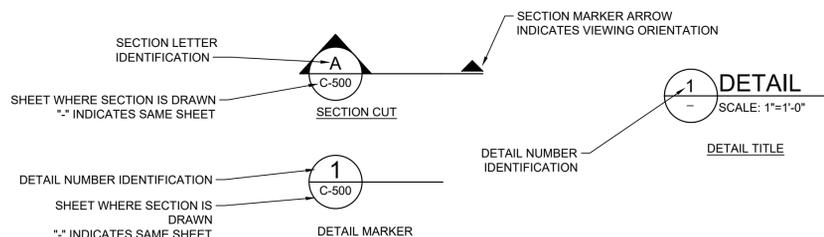
Utility Notification
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Administrative Office 303-232-1991
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Golden, CO 80215

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

GRADING AND EROSION CONTROL NOTES

- ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED GEOTECHNICAL ENGINEER. ALL TEST RESULTS SHALL BE MADE AVAILABLE TO THE ENGINEER.
- AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION DUE TO WIND AND RUNOFF, AS WELL AS VEHICLE TRACKING. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL FACILITIES SHOWN HEREIN.
- ALL PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO ANY OTHER EARTH-DISTURBING ACTIVITY. ALL OTHER STRUCTURAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS SOON AS THE FACILITIES, AROUND WHICH THEY ARE BASED, BECOME OPERATIONAL.
- ANY EROSION CONTROL FACILITY DAMAGED OR DESTROYED PREMATURELY, BY ANY MEANS, SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA, UNLESS DESIGNATED FOR REMOVAL. CONTRACTOR SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.
- THERE SHALL BE NO EARTH DISTURBANCE OUTSIDE THE LIMIT OF THE DISTURBANCE DESIGNATED ON THESE PLANS.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN. THE CONTRACTOR WILL NEED TO PROVIDE ALL STATE STORMWATER PERMITS FOR THIS PROJECT, PROVIDE ADDITIONAL INFORMATION NECESSARY TO OBTAIN STATE STORMWATER PERMITS, AND MAINTAIN AND MANAGE ALL ASPECTS OF THE STATE STORMWATER PERMITS FOR THIS PROJECT.
- THE GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF MATERIAL EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF SOIL DURING TRANSPORT ON PUBLIC RIGHTS OF WAYS.
- CONDITIONS IN THE FIELD MAY WARRANT EROSION CONTROL MEASURES IN ADDITION TO WHAT IS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMPLEMENT ALL MEASURES THAT ARE DETERMINED NECESSARY, AND MEET THE REQUIREMENTS OF THE STATE STORMWATER DISCHARGE PERMIT.
- NEGATIVE IMPACTS TO DOWNSTREAM AREAS CAUSED BY CONSTRUCTION TO BE MONITORED AND CORRECTED BY THE CONTRACTOR. ANY OFF-SITE CLEANUP, DIRECTED BY THE ENGINEER, (INCLUDING STREET CLEANING), SHALL BE COMPLETED WITHIN 24 HOURS OF WRITTEN INSTRUCTION, OR RISK CONSTRUCTION STOPPAGE.
- APPROVED EROSION AND SEDIMENT CONTROL "BEST MANAGEMENT PRACTICES" ("BMP") SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR FOR THE DURATION OF THIS PROJECT. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL BMPs WEEKLY AND AFTER SIGNIFICANT PRECIPITATION EVENTS. ALL NECESSARY MAINTENANCE AND REPAIR SHALL BE COMPLETED IN A TIMELY MANNER. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR, AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
- WATER USED IN THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES SHALL BE DISCHARGED INTO A PRE-DEFINED, BERMED CONTAINMENT AREA ON THE JOB SITE. THE REQUIRED CONTAINMENT AREA IS TO BE BERMED SO THAT WASH WATER IS TOTALLY CONTAINED. WASH WATER DISCHARGED INTO THE CONTAINMENT AREA SHALL BE ALLOWED TO INFILTRATE OR EVAPORATE. DRIED CEMENT WASTE SHALL BE REMOVED FROM THE CONTAINMENT AREA AND PROPERLY DISPOSED OF. SHOULD A PRE-DEFINED BERMED CONTAINMENT AREA NOT BE AVAILABLE DUE TO THE PROJECT SIZE, OR LACK OF AN AREA WITH A SUITABLE GROUND SURFACE FOR ESTABLISHING A CONTAINMENT AREA, PROPER DISPOSAL OF READY MIX WASHOUT AND RINSE OFF WATER AT THE JOB SITE SHALL CONFORM TO THE APPROVED TECHNIQUES AND PRACTICES IDENTIFIED IN THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT'S TRAINING VIDEO ENTITLED "BUILDING FOR A CLEANER ENVIRONMENT, READY MIX WASHOUT TRAINING", AND ITS ACCOMPANYING MANUAL ENTITLED, "READY MIX WASHOUT GUIDEBOOK, VEHICLE AND EQUIPMENT WASHOUT AT CONSTRUCTION SITES." THE DIRECT OR INDIRECT DISCHARGE OF WATER CONTAINING WASTE CEMENT TO THE STORM SEWER SYSTEM IS PROHIBITED. INFORMATION ABOUT, OR COPIES OF THE VIDEO AND TRAINING MANUAL ARE AVAILABLE FROM THE WATER QUALITY CONTROL DIVISION, COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, 4300 CHERRY CREEK DRIVE SOUTH, DENVER, COLORADO 80222-1530, 303-692-3555.
- PAVED SURFACES WHICH ARE ADJACENT TO CONSTRUCTION SITES SHALL BE SWEEPED IN A TIMELY MANNER WHEN SEDIMENT AND OTHER MATERIALS ARE TRACKED OR DISCHARGED ON TO THEM. EITHER SWEEPING BY HAND OR USE OF STREET SWEEPERS IS ACCEPTABLE. STREET SWEEPERS USING WATER WHILE SWEEPING IS PREFERRED IN ORDER TO MINIMIZE DUST.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. STABILIZATION AND PROTECTION OF THE STOCKPILE MAY BE ACCOMPLISHED BY ANY OF THE FOLLOWING: MULCHING, TEMPORARY/PERMANENT REVEGETATION OPERATION, CHEMICAL SOIL STABILIZER APPLICATION (REQUIRES PRIOR APPROVAL), OR EROSION CONTROL MATTING/GEOTEXTILES. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- TEMPORARY EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL SUCH TIME AS ALL TRIBUTARY DISTURBED AREAS ARE SUFFICIENTLY STABILIZED IN THE OPINION OF THE PROJECT ENGINEER TO MINIMIZE EROSION POTENTIAL.
- WHEN TEMPORARY EROSION CONTROL MEASURES ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REMOVAL OF ALL SEDIMENT AND DEBRIS FROM ALL DRAINAGE AND OTHER PUBLIC FACILITIES, AND TO RESTORE THE AREA TO NATURAL CONDITION.
- ALL CURB AND GUTTERS SHALL BE CATCH SECTION UNLESS NOTED AS SPILL ON THE PLANS.
- ALL SLOPES STEEPER THAN 12:1 THAT ARE TO BE REVEGETATED SHALL BE STABILIZED WITH BIODEGRADABLE TEMPORARY EROSION CONTROL BLANKET.
- REFER TO LANDSCAPE PLAN BY TOWN OF FRISCO FOR REVEGETATION REQUIREMENTS IN THE PARK.

MARKER DESCRIPTORS



LEGEND

EXISTING UNDERGROUND ELECTRIC LINE	UE
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING UNDERGROUND COMMUNICATIONS LINE	UT
EXISTING FIBER OPTICS LINE	FO
EXISTING CATV	UTV
EXISTING SANITARY SEWER	SS
EXISTING FLOW LINE	
EXISTING ASPHALT PAVEMENT	
EXISTING CONCRETE PAVEMENT	
EXISTING BUILDING	
EXISTING BRICK SIDEWALK	
EXISTING ROCK WALL	
EXISTING PROPERTY LINE	
EXISTING EASEMENT LINE	
EXISTING 1' CONTOUR LINE	
EXISTING 5' CONTOUR LINE	
EXISTING BUCK AND RAIL FENCE	X
EXISTING UTILITY PEDESTAL/METER	□
EXISTING ROAD SIGN	⊖
EXISTING LIGHT POST	⊙
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊕ GV
EXISTING TREES	⊙
PROPOSED	
PROPOSED FENCE	X
PROPOSED BUILDING	
PROPOSED BUILDING ROOF OVERHANG	
PROPOSED HANDRAIL	
PROPOSED CONCRETE PAVEMENT	
PROPOSED ASPHALT PAVEMENT	
PROPOSED UNDERGROUND ELECTRIC	UE
PROPOSED SANITARY SEWER SERVICE	SS
PROPOSED TRANSFORMER	E

ABBREVIATIONS

AC	ACRE
ABC	AGGREGATE BASE COURSE
BOS	BOTTOM OF STAIRS
BOW	BOTTOM OF WALL (FINISH GRADE)
BVCS	BEGIN VERTICAL CURVE STATION
C	CHORD
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION
CFS	CUBIC FEET PER SECOND
CL	CENTERLINE, CLASS
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CR	CURB RAMP
CY	CUBIC YARD
DEMO	DEMOLISH
E	EASTING
EX	EXISTING
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EOA	EDGE OF ASPHALT
EOC	EDGE OF CONCRETE
EOCP	EDGE OF CONCRETE PANS
EOG	EDGE OF GRAVEL
EOR	EDGE OF ROAD
EVCS	END VERTICAL CURVE STATION
EX TC	EXISTING TOP/BACK OF CURB
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE, FLOOR GRILLE
FT, '	FOOT, FEET
FH	FIRE HYDRANT
FO	FIBER OPTIC
FL	FLOWLINE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HGL	HYDRAULIC GRADE LINE
HORIZ	HORIZONTAL
HMA	HOT MIX ASPHALT
IN, "	INCH
INV	INVERT
IE	INVERT ELEVATION
L	LENGTH, LEFT, LINE
LF	LINEAR FEET
MEG	MATCH EXISTING GRADE
MEP	MECHANICAL, ELECTRICAL, PLUMBING
N	NORTH, NORTHING
NO.	NUMBER
NTS	NOT TO SCALE
OFF	OFFSET
PC	POINT OF CURVATURE
PH	PHASE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
PVI	POINT OF VERTICAL INTERSECTION
R	RADIUS, RIGHT
ROW	RIGHT-OF-WAY
RCBC	REINFORCED CONCRETE PIPE, BOX CULVERT
RCP	REINFORCED CONCRETE PIPE
RCPA	REINFORCED CONCRETE PIPE, ARCH
SD	STORM DRAIN
SS	SANITARY SEWER
STA	STATION
SHT	SHEET
SWMP	STORMWATER MANAGEMENT PLAN
TBOC	TOP BACK OF CURB
TOC	TOP OF CONCRETE
TOW	TOP OF WALL (FINISH GRADE)
TV	TELEVISION VIDEO INSPECTION
TYP	TYPICAL
VERT	VERTICAL

SHEET INDEX

SHEET NO.	TITLE
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C-102	DEMOLITION AND EROSION CONTROL PLAN
C-103	CIVIL SITE PLAN
C-104	GRADING AND DRAINAGE PLAN
C-500	CIVIL DETAILS



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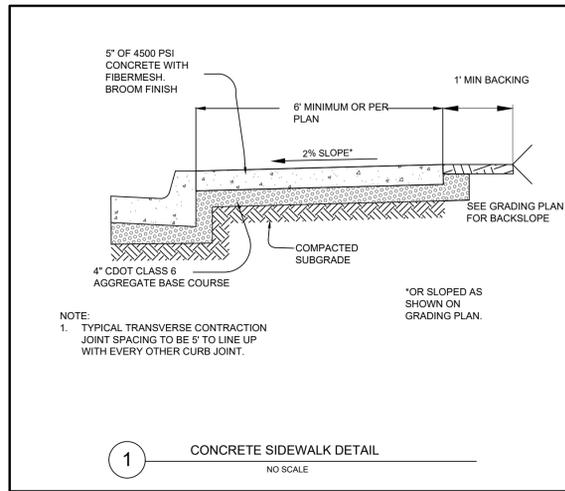
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TOWN OF FRISCO
VISITOR INFORMATION CENTER
GENERAL NOTES, LEGEND
AND ABBREVIATION

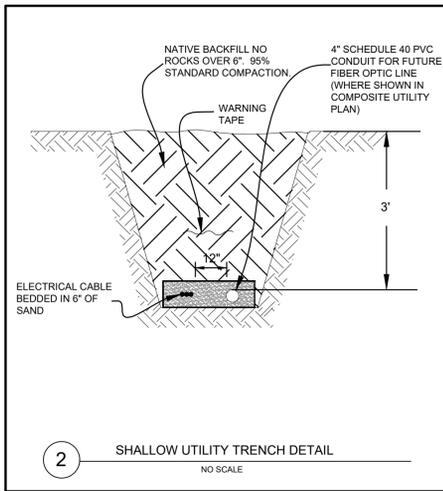
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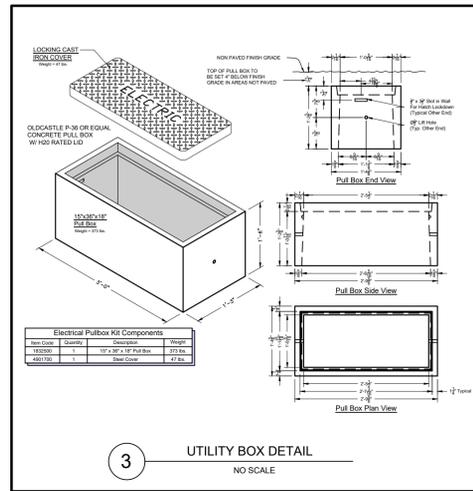
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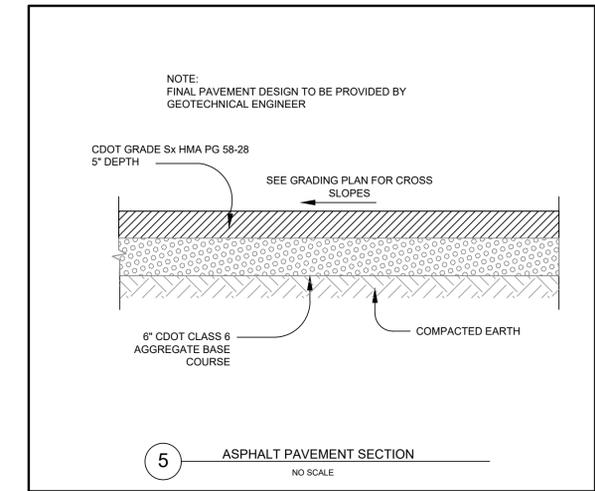
1 CONCRETE SIDEWALK DETAIL
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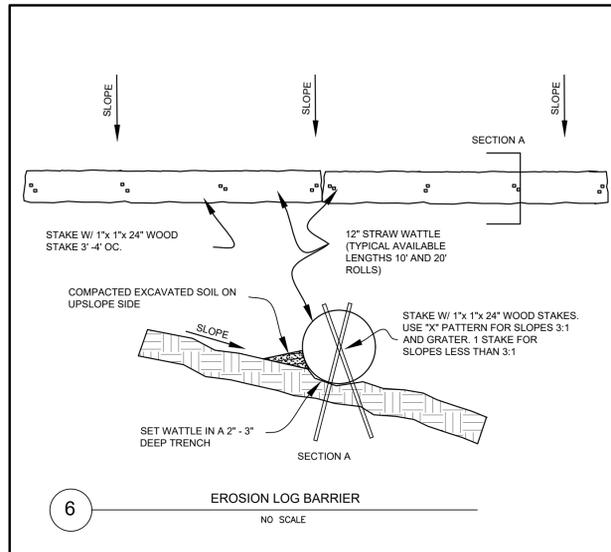
2 SHALLOW UTILITY TRENCH DETAIL
NO SCALE



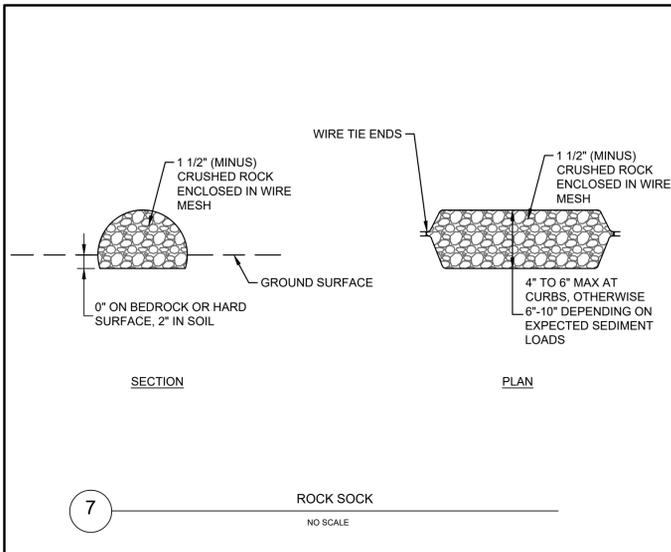
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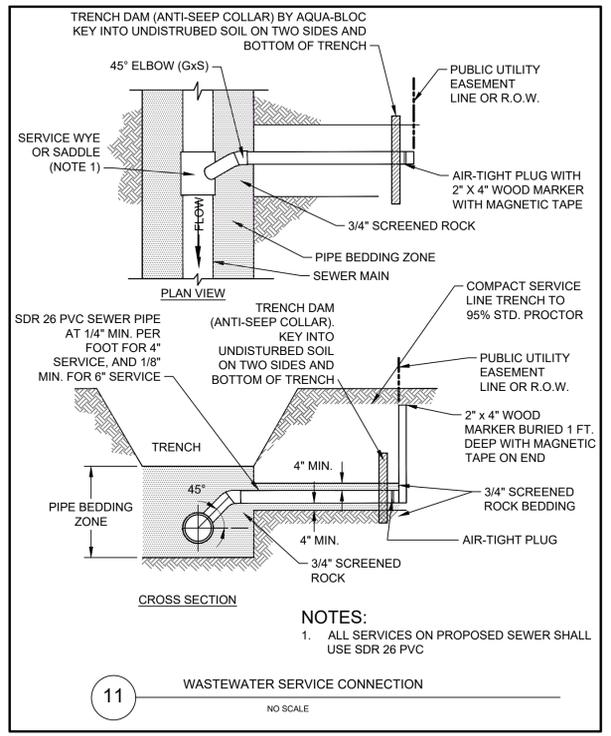
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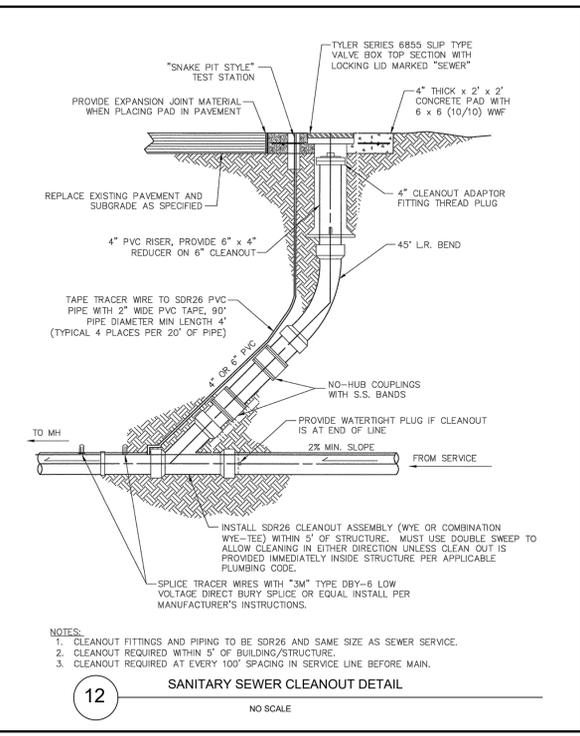
6 EROSION LOG BARRIER
NO SCALE



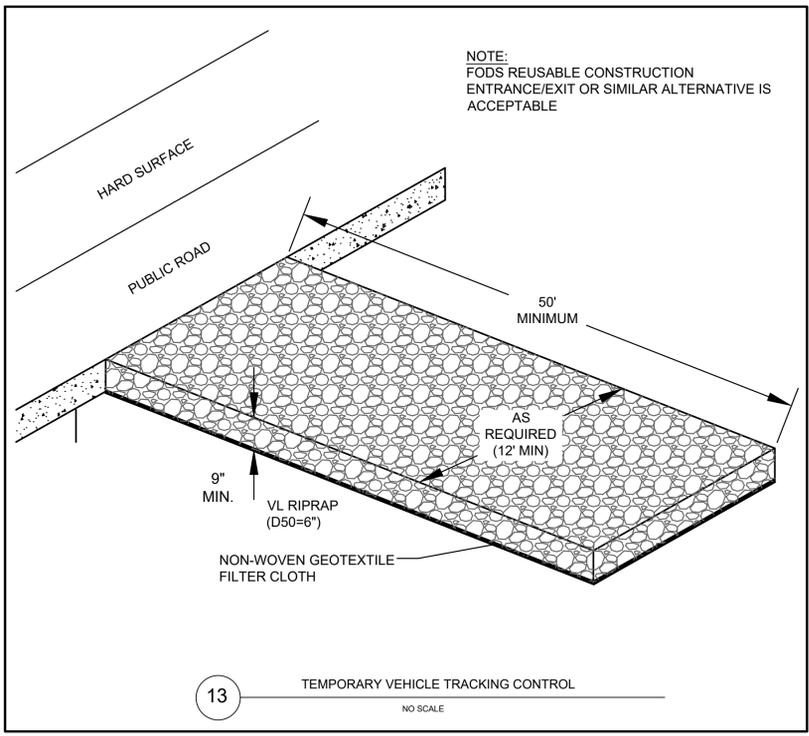
7 ROCK SOCK
NO SCALE



11 WASTEWATER SERVICE CONNECTION
NO SCALE



12 SANITARY SEWER CLEANOUT DETAIL
NO SCALE

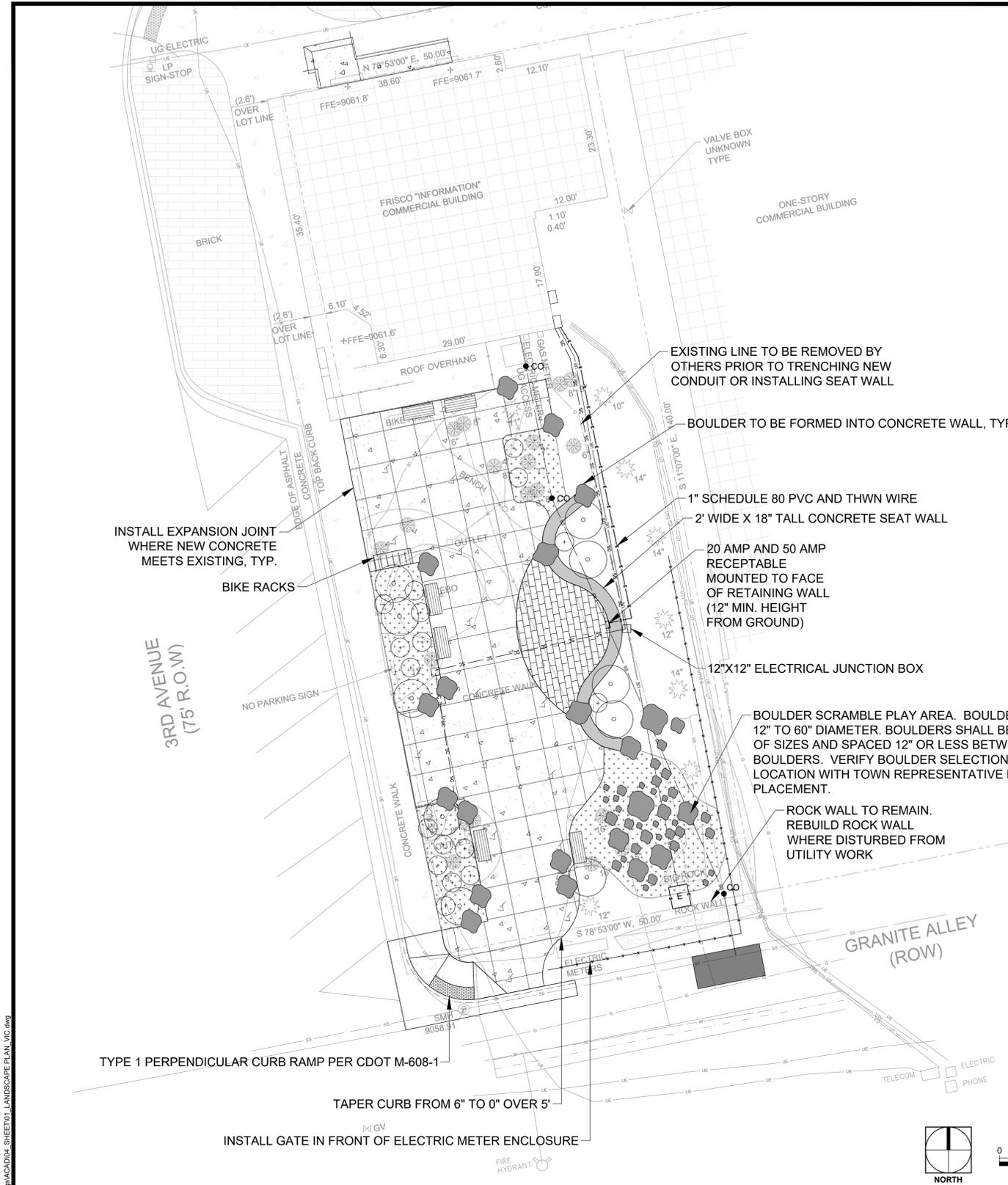


13 TEMPORARY VEHICLE TRACKING CONTROL
NO SCALE

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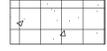
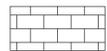
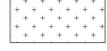
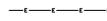
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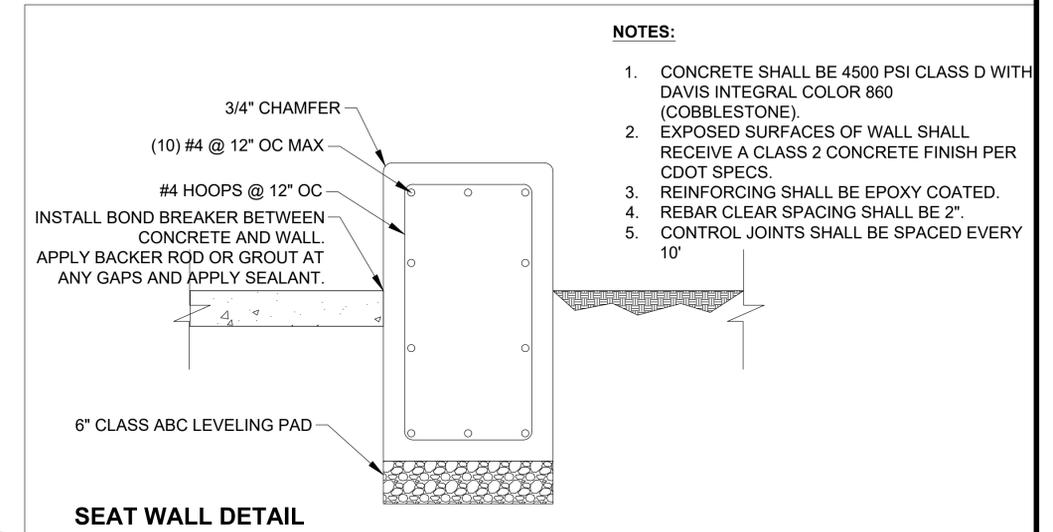
1. CONCRETE SHALL BE 4500 PSI CLASS D.
3. EXISTING TOPSOIL SHALL BE REMOVED BELOW PAVING AREAS. EXISTING SUBGRADE SHALL BE COMPACTED AND THEN 6" CLASS 6 ABC PLACED AND COMPACTED BENEATH ALL PAVEMENT.
4. PLAZA PAVING SHALL BE 1.5% IN BOTH DIRECTIONS. PLAZA SHALL NOT EXCEED 2% IN ANY DIRECTION.
5. BOND BREAKER SHALL BE PLACED BETWEEN PLAZA CONCRETE AND WALLS/BOULDERS. JOINT BETWEEN CONCRETE AND WALL/BOULDER SHALL BE SEALED WITH APPROVED SEALANT.
6. CONTRACTOR SHALL SUPPLY (4) SEAT BOULDERS TO BE POURED INTO CONCRETE SEAT WALL. ALL OTHER LANDSCAPE BOULDERS SHALL BE SUPPLIED BY TOWN. CONTRACTOR RESPONSIBLE FOR HAULING BOULDERS FROM TOWN'S PUBLIC WORKS YARD.
7. 6" CLASS ABC SHALL BE PLACED AND COMPACTED BENEATH SEAT BOULDERS. SEAT BOULDERS TO BE EXCAVATED AND BACKFILLED 12" MINIMUM.
8. SUBGRADE SHALL BE EXCAVATED ON ALL BOULDERS AND BACKFILL COMPACTED AROUND BOULDERS.
9. CONTRACTOR AND TOWN TO DETERMINE TEMPORARY IRRIGATION REQUIREMENTS FOR ESTABLISHING TREES AND SHRUBS. CONTRACTOR SHALL INSPECT EXISTING IRRIGATION PRIOR TO DEMOLITION AND DETERMINE TEMPORARY IRRIGATION DESIGN WITH TOWN.
10. PLASTIC LANDSCAPE EDGER SHALL BE INSTALLED AROUND MULCH AREAS.
11. CONTRACTOR SHALL FLAG NEW TREE LOCATIONS FOR APPROVAL BY TOWN REPRESENTATIVE.
12. DISTURBED AREAS SHALL BE REVEGETATED WITH 4" TOPSOIL, NATIVE WILDFLOWER SEED MIX, MULCH, AND TACKIFIER.
13. CONFIRM CONCRETE COLORS WITH TOWN REPRESENTATIVE AND ARCHITECT PRIOR TO PLACING CONCRETE.

LEGEND

-  CONCRETE PAVEMENT 1
5" DEPTH CLASS D CONCRETE
INTEGRAL DAVIS COLOR 860 (COBBLESTONE) AND 5237 (SANDSTONE) EVERY OTHER ROW IN N-S DIRECTION
CONTROL JOINTS SHALL BE SAWCUT AT 5' INTERVALS
SEE CHARACTER IMAGE BELOW
-  CONCRETE PAVEMENT 2
5" DEPTH CLASS D CONCRETE
INTEGRAL DAVIS COLOR 6130 (COCOA)
STAMP PATTERN TO BE PROVIDED BY TOWN OF FRISCO
-  WOOD MULCH (3" DEPTH)
-  6" CEDAR FENCE
-  1" SCHEDULE 80 PVC WITH THWN WIRE (WIRE SIZE TO BE DETERMINED BY ELECTRICIAN)
-  (2) 2" SCHEDULE 80 PVC SPARE CONDUIT
-  TOWN OF FRISCO BENCH (BENCH TO BE REUSED OR SUPPLIED BY TOWN)
-  2" CALIPER QUAKING ASPEN
-  5 GALLON SHRUB (POTENTILLA OR OTHER APPROVED LOW WATER NATIVE SHRUB)



CHARACTER IMAGE - PLAZA PAVING



SEAT WALL DETAIL

NOTES:

1. CONCRETE SHALL BE 4500 PSI CLASS D WITH DAVIS INTEGRAL COLOR 860 (COBBLESTONE).
2. EXPOSED SURFACES OF WALL SHALL RECEIVE A CLASS 2 CONCRETE FINISH PER CDOT SPECS.
3. REINFORCING SHALL BE EPOXY COATED.
4. REBAR CLEAR SPACING SHALL BE 2".
5. CONTROL JOINTS SHALL BE SPACED EVERY 10'

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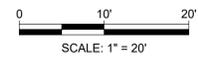


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Print Date: 1/29/2024 1:21 PM	Sheet Revisions	
File Name: 01_LANDSCAPE PLAN_VIC.dwg	#	Date Description
Designed By: CMM		
Project Address: 300 E MAIN ST		

OLD TOWN HALL PARK & VIC RENOVATIONS

Sheet Name:	Issue:
LANDSCAPE PLAN	FOR CONSTRUCTION
Sheet Number:	Issue Date: 1/29/24
L-102	Project Number: 2129
	Sheet Number: SHEET 2 OF 2



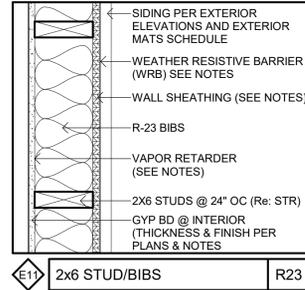
CONSTRUCTION ASSEMBLY TYPES

CONSTRUCTION ASSEMBLY NOTES

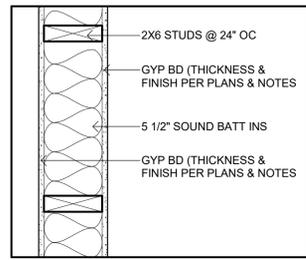
- 1) THESE ARE STANDARD CONSTRUCTION ASSEMBLY NOTES; NOT EVERY NOTE APPLIES TO EVERY PROJECT. REFER TO DRAWINGS & DETAILS FOR SPECIFIC CONDITIONS.
- 2) TYPICAL CONSTRUCTION ASSEMBLIES AT NEW CONSTRUCTION (UNLESS OTHERWISE NOTED ON DWGS):

EXTERIOR WALLS = E11
INTERIOR WALLS = 11
INTERIOR PLUMBING WALLS = 21
CONCRETE SLABS = S1

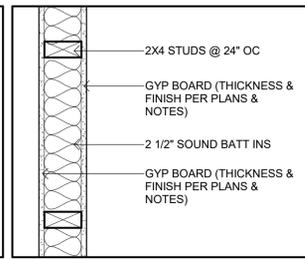
- 3) WALL TYPES SHOWN ON PLANS ARE TAKEN AT 5'-0" ABOVE FINISH FLOOR. NOT ALL EXTERIOR MATERIALS AND FINISHES ARE SHOWN ON FLOOR PLANS - REFER TO EXTERIOR ELEVATIONS FOR EXACT LOCATIONS OF EXTERIOR MATERIAL AND FINISH TRANSITIONS. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF STRUCTURAL MATERIAL TRANSITIONS.
- 4) ALL GYPSUM BOARD TO BE 5/8" UNLESS OTHERWISE NOTED.
- 5) REFER TO PLANS, INTERIOR ELEVATIONS, DETAILS AND LOCAL CODE ENFORCEMENT AUTHORITIES FOR EXTENT OF MOISTURE RESISTANT GYPSUM WALLBOARD AND CEMENT BOARD. GENERAL CONTRACTOR SHALL MAINTAIN REQUIRED FIRE RATING OF WALL ASSEMBLIES AND COORDINATE THIS WORK WITH APPROPRIATE SUBCONTRACTORS.
- 6) TYPICAL DIMENSIONS ARE SHOWN FOR CONSTRUCTION ASSEMBLIES. REFER TO PLANS AND DETAILS FOR NONSTANDARD DIMENSION CONDITIONS.
- 7) REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ALL LOAD BEARING CONSTRUCTION ASSEMBLIES. FIRE RATINGS PER ASSEMBLY TYPES SHALL BE MAINTAINED AT LOAD BEARING ASSEMBLIES.
- 8) REFER TO PLANS, FINISH SCHEDULE, AND INTERIOR ELEVATIONS FOR INTERIOR FINISHES.
- 9) REFER TO PLANS FOR COMPLETE DESCRIPTIONS OF ALL ASSEMBLY COMPONENTS AND CONSTRUCTION. CONFORM TO ALL APPLICABLE ASSEMBLY RATINGS AS NOTED HEREIN.
- 10) REFER TO PLANS, REFLECTED CEILING PLANS, DETAILS, AND ENGINEERING DRAWINGS FOR DROPPED CEILING AND SOFFIT AREAS, DETAILS AND REQUIREMENTS.
- 11) IN STUD WALLS, OFFSET WALL PENETRATIONS ON OPPOSITE SIDES OF WALLS BY AT LEAST 1 STUD BAY. GC TO COORDINATE THIS WORK WITH ALL SUBCONTRACTOR TRADES.
- 12) ALL ACOUSTICAL WALLS (NOTED IN TYPES AS 'ACU') SHALL HAVE CONTINUOUS BEADS OF ACOUSTICAL SEALANT AT TOP & BOTTOM OF WALLS AND AT ALL WALL PENETRATIONS.
- 13) REFER TO FLOOR PLAN FOR DRAFT STOPS AT ATTICS (IF APPLICABLE).
- 14) PROVIDE FIRE STOPPING IN ALL STUD WALLS ADJACENT TO STRINGERS IN ALL STAIRS.
- 15) OPTIMUM VALUE ENGINEERING [OVE]; REFER TO GENERAL NOTES, AND www.eere.energy.gov/buildings/building_america/pdfs/db/35380.pdf. CONTACT ARCHITECT FOR FURTHER INFORMATION IF NECESSARY.
- 16) RIGID INSULATION BELOW SLABS ON GRADE: EXTRUDED POLYSTYRENE [XPS], DOW 'STYROFOAM' TONGUE AND GROOVE [R1inch=5], OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.dow.com/styrofoam]
- 17) RIGID INSULATION AT OUTSIDE FACE OF EXTERIOR WALLS: EXTRUDED POLYSTYRENE [XPS], [R1inch=5] OWENS CORNING 'FOAMULAR 404', OR APPROVED EQUAL. TAPE JOINTS PER MFR INSTRUCTIONS. THICKNESS PER DRAWINGS. [www.owenscorning.com]
- 18) RIGID INSULATION AT ROOF AREAS: POLYISOCYANURATE [POLYISO], HUNTER PANELS 'H-SHIELD' [R1inch=6+], OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.hpanels.com]
- 19) SPRAY INSULATION: HIGH DENSITY SPRAY CLOSED-CELL POLYURETHANE FOAM [R1inch=6+], BASF 'COMFORT FOAM 178 SERIES', OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.performancefoam.net/178%20Comfort%20Foam%20Tech%20Data.pdf]
- 20) UNDERSLAB VAPOR/RADON BARRIER: STEGO WRAP 15 MIL VAPOR BARRIER, OR APPROVED EQUAL. TAPE ALL SEAMS AND EDGES PER MFR RQMTS. [www.stegoindustries.com]
- 21) WEATHER RESISTIVE BARRIER [WRB]: TYVEK HOME WRAP, OR APPROVED EQUAL, CONTINUOUS AT ALL EXTERIOR WALLS. USE MFR STD FASTENERS. TAPE ALL JOINTS PER MFR INSTRUCTIONS. [www2.dupont.com/Tyvek/en_US]
- 22) VAPOR RETARDER [INSIDE FACE OF EXTERIOR WALLS AND ROOFS, AS NOTED ON DWGS]: CERTAINTED 'MEMBRAN' SMART VAPOR RETARDER (www.certainteed.com), ALTERNATE METHOD: SPRAY FOAM INSULATION WILL ALSO FULFILL THIS REQUIREMENT.
- 23) WINDOW/DOOR FLASHING [TYPICAL AT ALL DOOR/WINDOW FRAMES AND AS NOTED ON DWGS]: GRACE 'VYCOR' BUTYL FLASHING, OR APPROVED EQUAL. [www.na.graceconstruction.com]
- 24) FLEXIBLE SELF ADHERED FLASHING [TYPICAL BEHIND STONE VENEER AND AS NOTED ON DWGS]: PROTECTO-WRAP 100/60, OR APPROVED EQUAL. [www.protectowrap.com]
- 25) INSULATED CONCRETE FORM SYSTEM [ICF]: NUDURA OR APPROVED EQUAL. THICKNESS PER DRAWINGS. [www.nudura.com]
- 26) FOUNDATION WATERSTOP [CONTINUOUS AT TOP OF FOOTING]: CETCO 'VOLCLAY WATERSTOP-RX', OR APPROVED EQUAL. APPLY OUTBOARD OF VERTICAL REBAR, AFTER FOOTING POUR AND PRIOR TO WALL FORMING, PER DWGS AND MFR INSTRUCTIONS.
- 27) BELOW GRADE WATERPROOFING [TYPICAL AT FULL HEIGHT OF FDN WALLS AND FOOTINGS]: GRACE 'PROCOR 75' FLUID-APPLIED MEMBRANE [MIN 60 MILS THICK], OR APPROVED EQUAL. COLD APPLIED SYSTEM, TO BE COMPATIBLE WITH ICF SYSTEM, CONTINUOUS FROM TOP OF CONC WALL TO BOTTOM OF FOOTING. [www.na.graceconstruction.com]
- 28) BELOW GRADE DRAINAGE MAT [TYPICAL AT FULL HEIGHT OF FDN WALLS AND FOOTINGS]: TREMCO 'TREMRAIN PF', OR APPROVED EQUAL, CONTINUOUS FROM TOP OF CONC WALL TO BOTTOM OF FOOTING. [www.tremcosealants.com]
- 29) DRAINSCREEN [TYPICAL BEHIND STONE VENEER]: MORTAR NET 'STONE & STUCCO DRAIN', OR APPROVED EQUAL. [www.mortarnet.com]
- 30) WALL SHEATHING: 1/2" APA-RATED CDX [EXPOSURE 1] PLYWOOD, OR APPROVED EQUAL.
- 31) ROOF SHEATHING: REFER TO STRUCTURAL.
- 32) NAILING SURFACE [OUTBOARD OF RIGID INSULATION AT WALLS/ROOFS, AS SHOWN ON DWGS]: 1/2" APA-RATED CDX [EXPOSURE 1] PLYWOOD, OR APPROVED EQUAL.
- 33) ROOF UNDERLAYMENT [CONTINUOUS AT ALL ROOF SURFACES AND SIDEWALLS, AS SHOWN ON DWGS]: GRACE 'ICE & WATER SHIELD', OR APPROVED EQUAL. [www.na.graceconstruction.com]
- 34) FOUNDATION-TO-FLOOR FLASHING: GRACE 'BITUTHENE 3000', OR APPROVED EQUAL. LAP 6" MIN OVER FDN WALL WATERPROOFING AND 6" MIN UP WOOD FRAMING, UNDER WRB. [www.na.graceconstruction.com]
- 35) GEOTEXTILE FABRIC: TENCATE 'MIRAFI 140N', OR APPROVED EQUAL, AS SHOWN ON DWGS. [www.tencate.com/TenCate/Geosynthetics/documents/N%20Series/TDS_140N.pdf]
- 36) "COLD ROOF" WHERE SPECIFIED SHALL INCLUDE CONTINUOUS EAVE & RIDGE VENTS (1.5" MIN GAP); INSTALLER SHALL COORDINATE ADEQUATE AIR FLOW @ VALLEYS & OTHER OBSTRUCTIONS AND PROVIDE SOLID BLOCKING @ SOLAR PANELS OR OTHER ROOF MOUNTED EQUIPMENT.



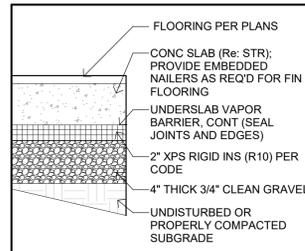
E11 2x6 STUD/BIBS R23



21 2x6 STUD WITH GYP BD & INS



11 2x4 STUD WITH GYP BD & INS



S1 NON-HTD SLAB ON GRADE R10

ROOF/CEILING ASSEMBLIES

EXTERIOR WALLS

INTERIOR WALLS

FRAMED FLOOR/CEILINGS

CONCRETE SLABS

CONCRETE WALLS



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CONST ASSEMBLIES & NOTES
draft
A200

FLOOR PLAN KEY NOTES

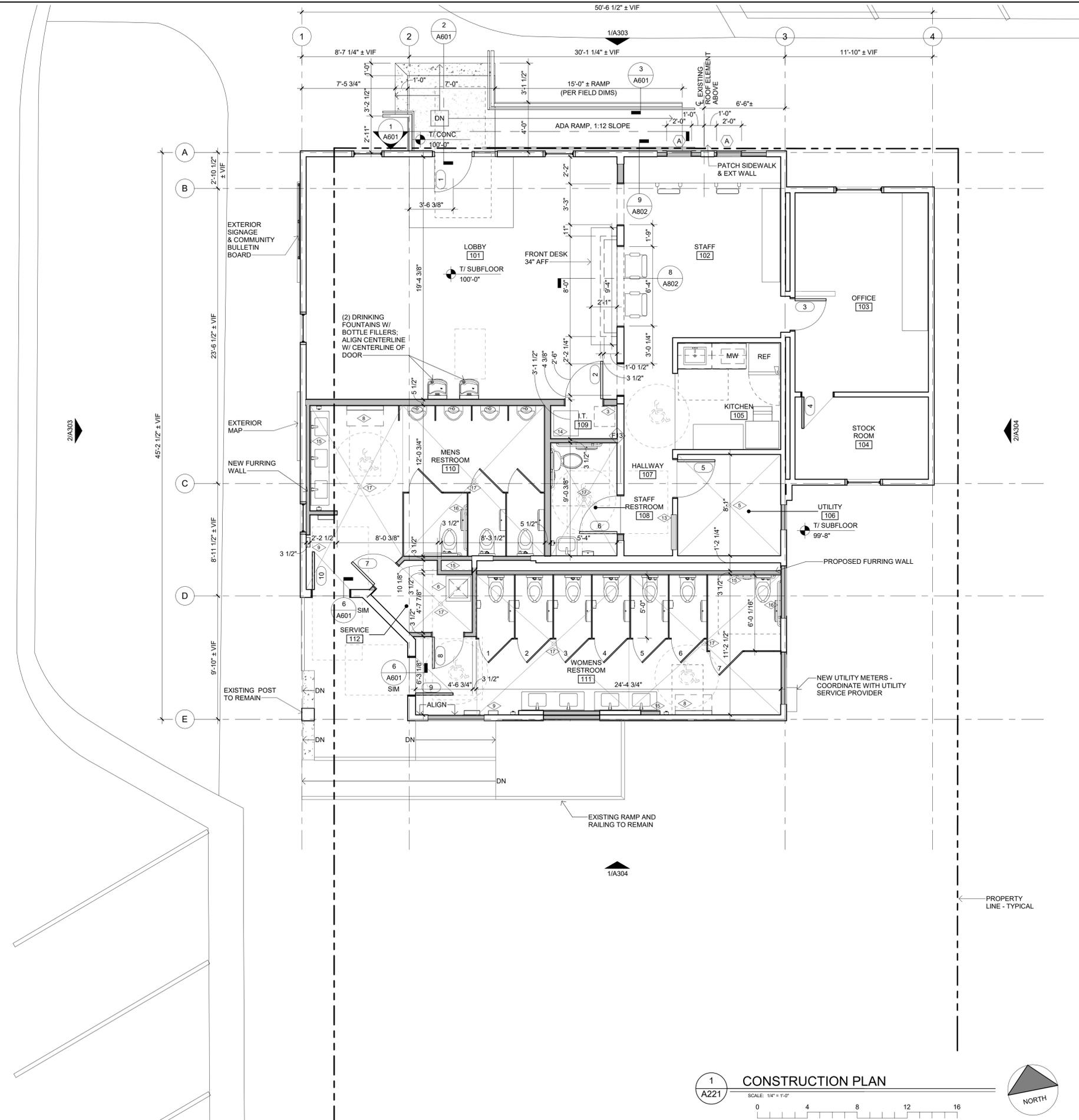
- 1 CENTER DOOR IN WALL
- 2 CENTER WINDOW IN INSIDE FACE OF WALL
- 3 EXISTING CRAWL SPACE ACCESS TO REMAIN
- 4 FLOORING MATERIAL TRANSITION
- 5 EXISTING FLOOR DRAIN
- 6 MOP SINK
- 7 N/A
- 8 BABY CHANGING STATION
- 9 ELECTRIC HAND DRYER
- 10 PAPER TOWEL DISPENSER
- 11 PULL DOWN STAIR FOR ATTIC ACCESS (MIN RO 22"x30")
- 12 PROVIDE BLOCKING FOR WALL ACCESSORIES - SEE INTERIOR FINISH NOTES
- 13 NEW ELECTRIC PANEL
- 14 IT EQUIPMENT
- 15 PROVIDE 2X4 FURRED WALL
- 16 ADA GRAB BAR ASSEMBLY
- 17 NEW FLOOR DRAIN

FLOOR PLAN NOTES

1. ALL ELECTRICAL SWITCHES, RECEPTACLES, ENVIRONMENTAL CONTROLS AND SIMILAR EQUIPMENT SHALL BE MOUNTED BETWEEN 15" AND 44" ABOVE FINISHED FLOOR TO CENTER OF SAID EQUIPMENT, PER MFR RECOMMENDATIONS, CODE REQUIREMENTS, OR OWNER DIRECTION.
2. "ALIGN" AS NOTED IN PLANS INDICATES FIELD ALIGNMENT OF FRAMING TO ALLOW FOR CONTINUOUS WALL FINISH.
3. WALL DIMENSIONS ARE TO FACE OF WOOD STUDS, CONCRETE, CMU, OR ICF WALLS, AND TO CENTERLINE OF STRUCTURAL STEEL UNLESS OTHERWISE NOTED.
4. DIMENSIONS TO FACE OF WALL FINISH ARE DENOTED BY "FIN".
5. MINIMUM DIMENSIONS ARE NOTED BY "MIN". IF THIS CANNOT BE ACHIEVED NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
6. WINDOW AND DOOR DIMENSIONS ARE NOMINAL, REFER TO SCHEDULES, TYPES AND/OR NOTES FOR UNIT SIZES, CONTRACTOR TO VERIFY UNIT AND ROUGH OPENING SIZES PRIOR TO WALL CONSTRUCTION.
7. SWINGING DOORS SHALL BE 4" FROM ADJACENT WALL @ FRAME WALLS & 8" FROM ADJACENT WALL @ CONCRETE/CMU/ICF WALLS, UNLESS OTHERWISE NOTED.
8. ALL WALL AND FLOOR SURFACES SHALL COMPLY WITH APPLICABLE LOCAL CODES REGARDING CLEANABLE/WASHABLE SURFACES, PER APPROVAL OF LOCAL BUILDING OFFICIAL, ENVIRONMENTAL HEALTH DEPT, AND OTHER APPLICABLE JURISDICTIONS.

PLAN LEGEND

-  EXISTING WALL TO REMAIN
-  WALL TO BE REMOVED (SHOWN DASHED)
-  NEW WALL (SHOWN SHADED)
-  EXISTING DOOR
-  DOOR TO BE REMOVED (SHOWN DASHED)
-  NEW DOOR



1
A221

CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"



NORTH

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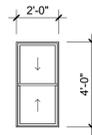
CONSTRUCTION PLAN & NOTES

draft

A221

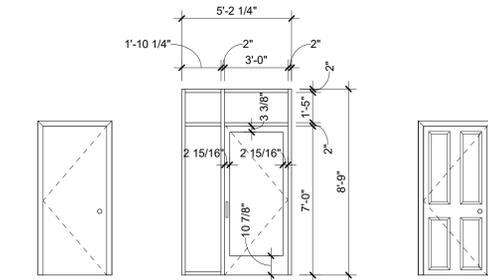
WINDOW TYPES

- NOTES: 1. VERIFY ALL SWINGS WITH EXTERIOR ELEVATIONS
2. PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING UNITS
3. REFER ALSO TO DOOR AND WINDOW NOTES BELOW
4. RETROFIT HISTORIC WINDOWS - ADD ADDITIONAL FIXED WINDOW SASH AT INTERIOR EXISTING HISTORIC WINDOW OPENINGS (QUANTITY: 4). WOOD FRAMES SHALL MATCH EXISTING HISTORIC WINDOWS. SASH SHALL SIT WITHIN EXISTING JAMB EXTENSIONS. SINGLE PANE GLAZING SHALL BE USED.



(A) (1) DBL HUNG
SIERRA PACIFIC
ALUM CLAD WD WDW
MFR STD BLACK

DOOR TYPES

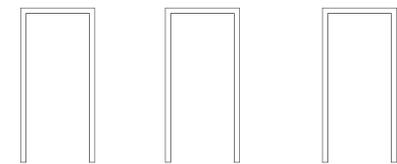


(1) SINGLE FLUSH
FLAT PANEL,
SHERWIN WILLIAMS
SW-7069 "IRON ORE"
FINISH

(2) STOREFRONT
MANKO 2450CG-100 SERIES w/
TRANSOM & SIDE LITE, BLACK
FINISH

(3) FOUR PANEL
WOOD DOOR
WD TYPE: ALDER
STAIN TO MATCH
TRIM (MW-2)

DOOR FRAME TYPES



(F) WD SINGLE
(G) INSULATED
METAL FRAME
(H) HOLLOW
METAL FRAME

DOOR & FRAME SCHEDULE

#	MATL	DOOR TYPE	FRAME TYPE	WIDTH	HEIGHT	THKNSS	HARDWARE	NOTES
1	ALUM	ALUM	2	3'-0"	7'-0"	5" FRAME	TYPE 1	NEW STOREFRONT PER DOOR TYPES
2	WD-SC	4	F	3'-0"	7'-0"	1 3/4"	TYPE 2	
3	WD-SC	4	F	2'-6"	7'-0"	1 3/4"	TYPE 2	
4	WD-SC	1	G	2'-6"	7'-0"	1 3/4"	NO CHANGE	EXISTING - NO CHANGE
5	WD-SC	4	F	3'-0"	7'-0"	1 3/4"	TYPE 2	
6	WD-SC	4	F	3'-0"	7'-0"	1 3/4"	TYPE 2	
7	MTL-INS	1	H	2'-6"	7'-0"	1 3/4"	TYPE 3	
8	MTL-INS	1	H	2'-6"	7'-0"	1 3/4"	TYPE 3	
9	MTL-INS	1	G	3'-0"	7'-0"	1 3/4"	TYPE 4	EXISTING DOOR
10	MTL-INS	1	G	3'-0"	7'-0"	1 3/4"	TYPE 4	EXISTING DOOR

DOOR & WINDOW NOTES

- UNIT SIZES (NOT ROUGH OPENINGS) HAVE BEEN SHOWN ON DOOR & WINDOW TYPES AND MAY HAVE BEEN ROUNDED FOR COMPARISON WITH OTHER MANUFACTURERS. VERIFY ALL DOOR, FRAME, WINDOW, AND ROUGH OPENING SIZES WITH MANUFACTURER PRIOR TO START OF CONSTRUCTION. SUBSTITUTION OF MANUFACTURERS WILL BE ALLOWED ONLY WITH OWNER / ARCHITECT APPROVAL.
- REFER TO FLOOR PLANS FOR DOOR AND FRAME HANDING. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING.
- SEE WINDOW TYPES FOR WINDOW HANDING AND OPERATION. CROSS CHECK OPERATION WITH EXTERIOR ELEVATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ORDERING WINDOWS.
- ALL WINDOWS & EXTERIOR DOORS TO HAVE 'LOW E' INSULATED GLAZING UNLESS NOTED ON SCHEDULE. AND SHALL BE RATED FOR USE AT HIGH ALTITUDES, PER MANUFACTURERS' REQUIREMENTS.
- FIELD MEASURE FOR ALL CUSTOM UNIT SIZES PRIOR TO ORDERING.
- PROVIDE WEATHERSTRIPPING AND ALUMINUM THRESHOLDS AT ALL EXTERIOR DOORS PER SCHEDULES.
- WRAP TYVEK INTO ALL WINDOW AND DOOR OPENINGS (PER TYVEK MFR SPEC) PRIOR TO SETTING UNITS.
- PROVIDE 1/2" CLR FOR INSULATION AT ALL EXTERIOR SHIM SPACES OF DOORS AND WINDOWS.
- VERIFY WINDOW AND DOOR HARDWARE FINISHES WITH OWNER PRIOR TO ORDERING.
- PROVIDE ALL COMBINATION UNITS WITH EXTERIOR MULLION COVERS.
- WINDOWS AND DOORS TO HAVE FIELD APPLIED EXTERIOR TRIM (R# A300). JAMB EXTENSION AND CASING OPENING AT INTERIOR.
- ALL GLAZED AREAS IN HAZARDOUS LOCATIONS MUST BE GLAZED WITH SAFETY MATERIAL PER IBC.
- ALL RATED ASSEMBLIES AS NOTED ON DOOR SCHEDULE SHALL INCLUDE RATED DOOR, FRAME AND HARDWARE.
- U-VALUE OF WINDOW AND DOOR ASSEMBLIES TO COMPLY WITH CURRENT IECC REQMTS.
- PROVIDE FRAME PROFILE AT ALL FIXED WINDOWS TO MATCH PROFILE (NO DIRECT SET).
- TYPICAL DOOR FRAMING TO BE 4" FROM ADJACENT WALL ON HINGED SIDE UNLESS OTHERWISE DIMENSIONED ON PLANS.

DOOR HARDWARE SCHEDULE

TYPE	DOOR TYPE	HARDWARE
TYPE 1	STOREFRONT	DEADBOLT: MANUFACTURER: ADAMS RITE FINISH: BLACK #355 BLACK ANODIZED DESCRIPTION: MS LOCK, MS WITH GLOBAL CYLINDERS (OR SIMILAR) LEVER: MANUFACTURER: ADAMS RITE FINISH: BLACK #355 BLACK ANODIZED DESCRIPTION: #4580 DEADLATCH PADDLE (REFER TO CONSTRUCTION PLAN FOR DOOR SWING) DOOR CLOSER: MANUFACTURER: LCN BLACK #693 BLACK DESCRIPTION: #4040 HEAVY-DUTY GRADE-1 DOOR CLOSER THRESHOLD: ACCESSIBLE TRESHOLD - PER MFR
TYPE 2	PASSAGE DOOR	MANUFACTURER: FALCON FINISH: MATTE BLACK #622 DESCRIPTION: QUANTUM COLLECTION, T SERIES #T-1015
TYPE 3	PASSAGE DOOR w/ DEADBOLT	MANUFACTURER: FALCON FINISH: MATTE BLACK #622 DESCRIPTION: QUANTUM COLLECTION, T SERIES #T-1015 DEADBOLT: MANUFACTURER: SARGENT FINISH: BSP-BLACK DESCRIPTION: #486 SINGLE CYLINDER
TYPE 4	PASSAGE DOOR w/ DEADBOLT & TIMER	MANUFACTURER: FALCON FINISH: MATTE BLACK #622 DESCRIPTION: QUANTUM COLLECTION, T SERIES #T-1015 w/ WIRED ELECTRIFIED WATCH DEADBOLT: MANUFACTURER: SARGENT FINISH: BSP-BLACK DESCRIPTION: #486 SINGLE CYLINDER THRESHOLD: ACCESSIBLE TRESHOLD - PER MFR

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DOOR & FRAME SCHED, WINDOW TYPES, NOTES

A300



3 VIEW FROM NORTHEAST
A311 SCALE:



1 VIEW FROM NORTHWEST
A311 SCALE:



4 VIEW FROM SOUTHEAST
A311 SCALE:



2 VIEW FROM SOUTHWEST
A311 SCALE:

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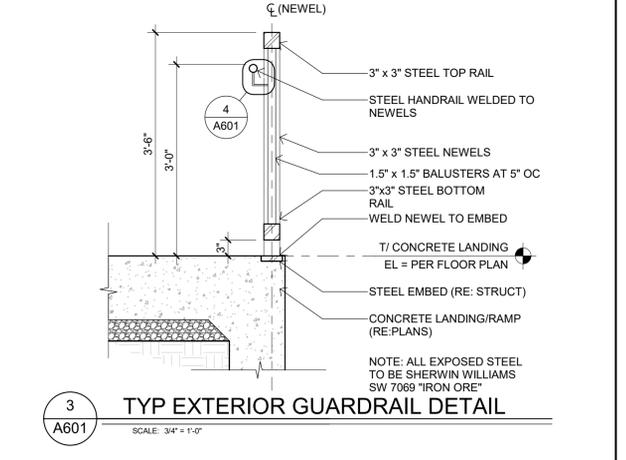
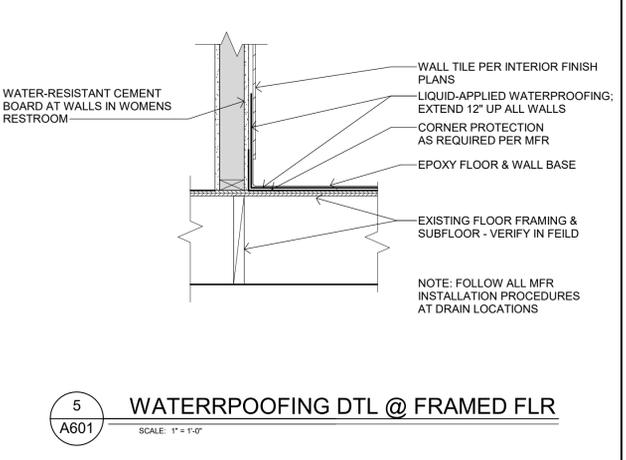
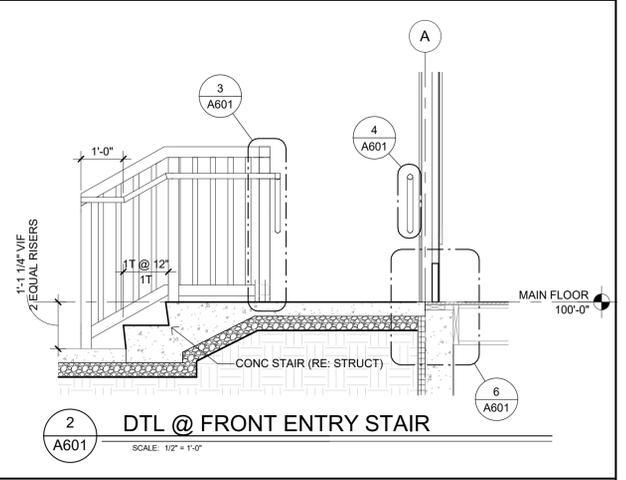
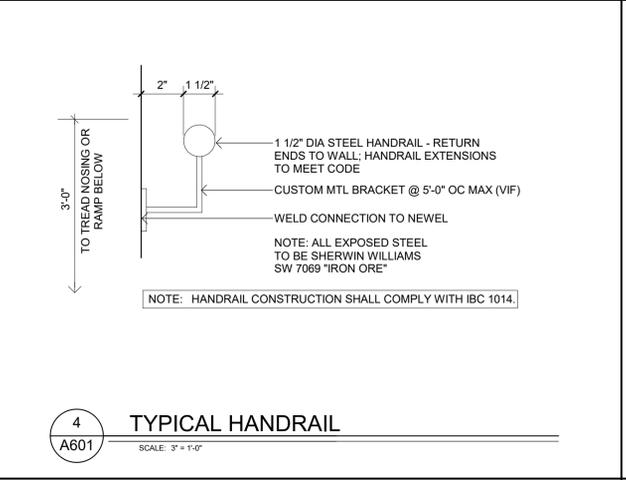
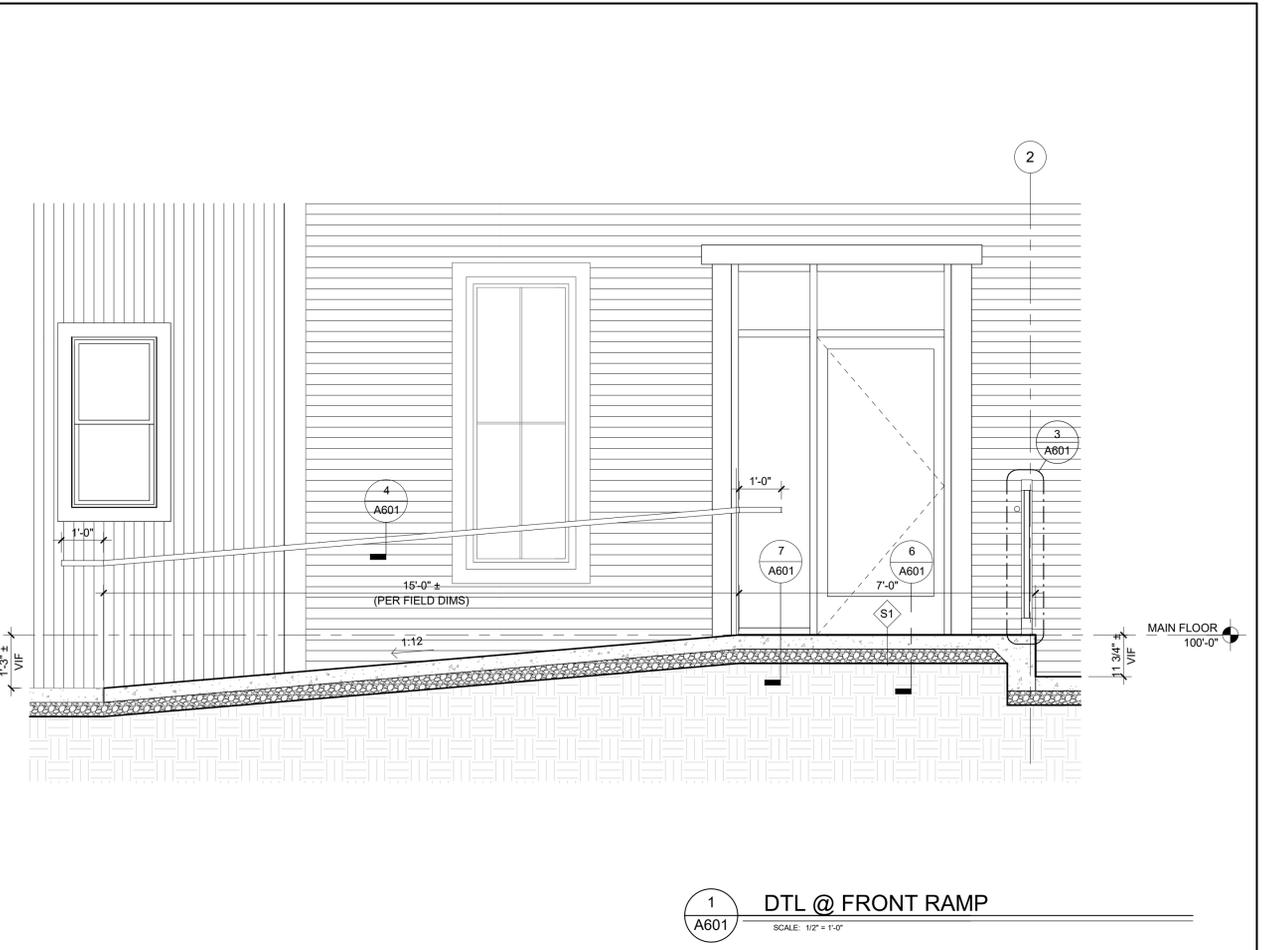
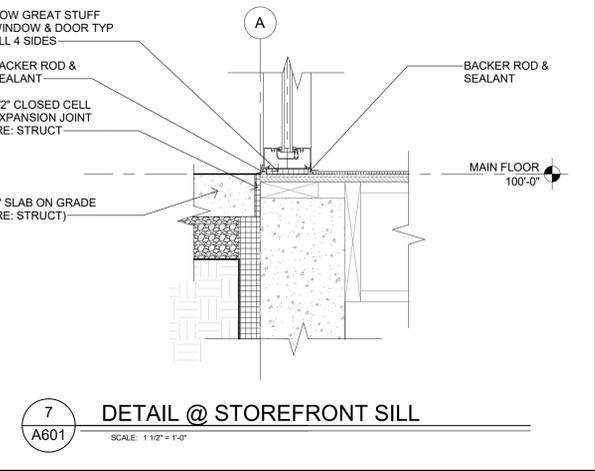
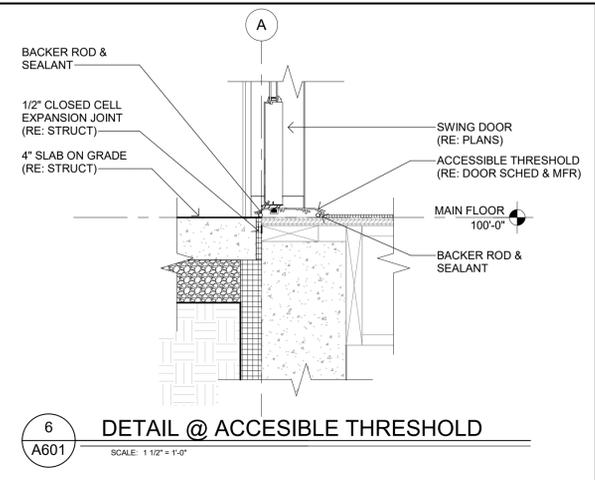
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EXTERIOR PERSPECTIVES

draft

A311



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EXTERIOR DETAILS

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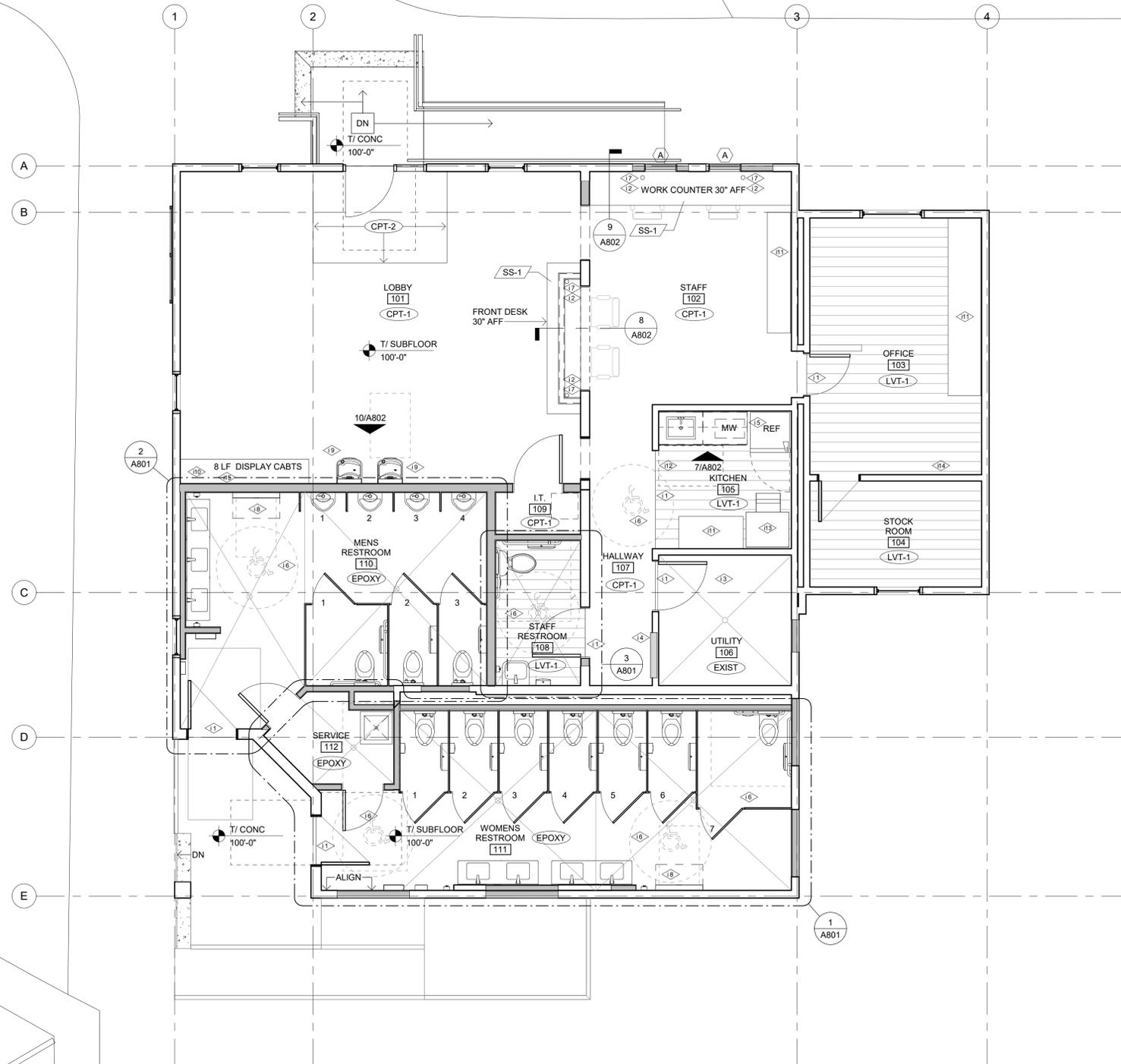
A601

FINISH PLAN NOTES

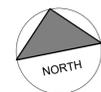
1. THE GENERAL PROVISIONS OF THE CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SECTIONS GOVERN AND ARE HEREBY MADE PART OF THESE SECTION OF THE CONTRACT DOCUMENTS.
2. REFER TO CONSTRUCTION PLANS FOR FINISH FLOOR ELEVATIONS, WALL TYPES, DIMENSIONS, DOOR AND WINDOW TAGS.
3. REFER TO TYPICAL UNIT PLAN SHEETS FOR ALL CONDITIONS, FURNISHINGS, FIXTURES AND EQUIPMENT WITHIN DWELLING UNITS. ATYPICAL CONDITIONS ARE SHOWN ON 1/8" SCALE FINISH PLANS.
4. REFER TO REFLECTED CEILING PLANS FOR SOFFIT LOCATIONS.
5. TV AND PHONE SYSTEMS: PROVIDE WIRING AND CONNECTION ONLY; EQUIPMENT TO BE FURNISHED AND INSTALLED BY OWNER.

FINISH PLAN KEY NOTES

- | | |
|---|--|
| <ul style="list-style-type: none"> <1> FLOORING MATERIAL TRANSITION <2> PROVIDE DATA/ PHONE JACK PER OWNER <3> MECH CLOSET <4> ELECTRICAL PANEL <5> FINISHED END PANEL AT CABINERY <6> PROVIDE 5'-0" MIN CLEAR ADA TURNING DIAMETER @ THIS AREA <7> PROVIDE 3" GROMMET @ COUNTER <8> BABY CHANGING STATION <9> PUBLIC DRINKING FOUNTAINS w/ WATER DISPENSER <10> (2) WADDELL HERITAGE SERIES 891M SERIES SLIDING GLASS DOOR HARDWARE FLOOR DISPLAY CASE - 48" W x 70" H x 18" D <11> STORAGE CABINETS/ SHELVING PER OWNER <12> ADA SIDE APPROACH PER CODE <13> 36" WIDE RECESS FOR BREAK AREA - (FURNITURE BY OWNER) | <ul style="list-style-type: none"> <14> EXISTING DATA/ PHONE JACK TO REMAIN <15> RELOCATE EXISTING DATA JACK & RECEPTICLE TO NEW WALL - COORDINATE FINAL LOCATION WITH OWNER |
|---|--|



1
A721 FINISH PLAN
SCALE: 1/4" = 1'-0"



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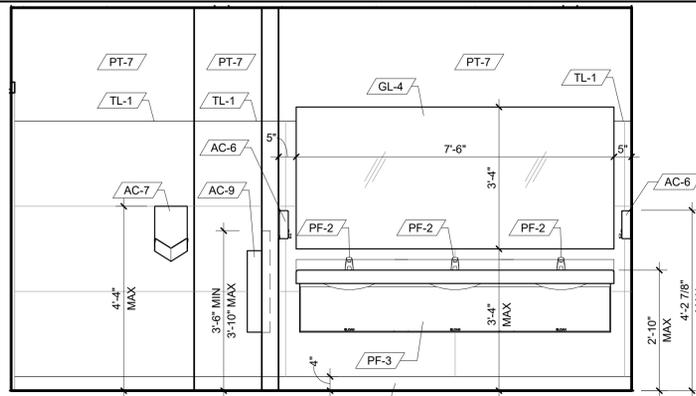
ISSUE:

80% des dev	25 aug 2022
100% des dev	12 sep 2022
drc review	10 mar 2023
50% const docs	6 apr 2023
100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

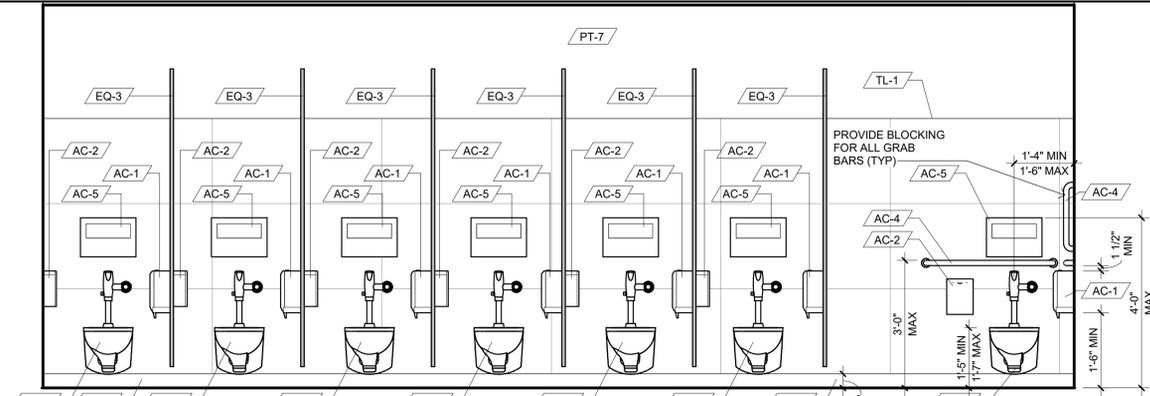
FINISH PLAN

draft

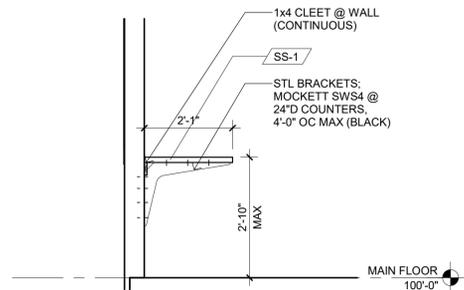
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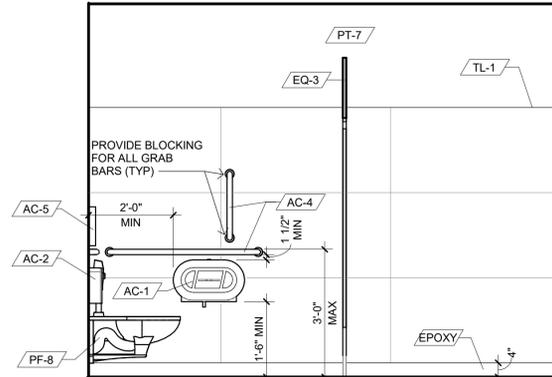
5 MENS RESTROOM - WEST ELEV
SCALE: 1/2" = 1'-0"



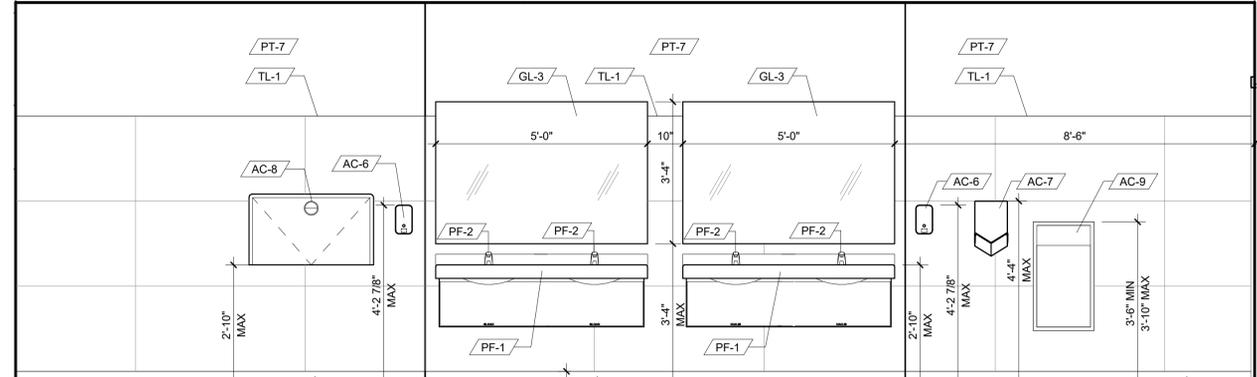
1 WOMENS RESTROOM - NORTH ELEV
SCALE: 1/2" = 1'-0"



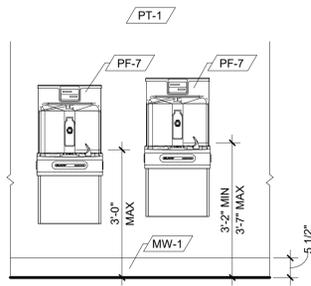
9 DETAIL @ WORK COUNTER
SCALE: 1/2" = 1'-0"



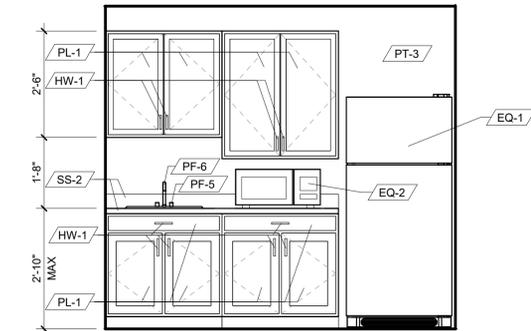
6 ACCESSIBLE STALL ELEVATION
SCALE: 1/2" = 1'-0"



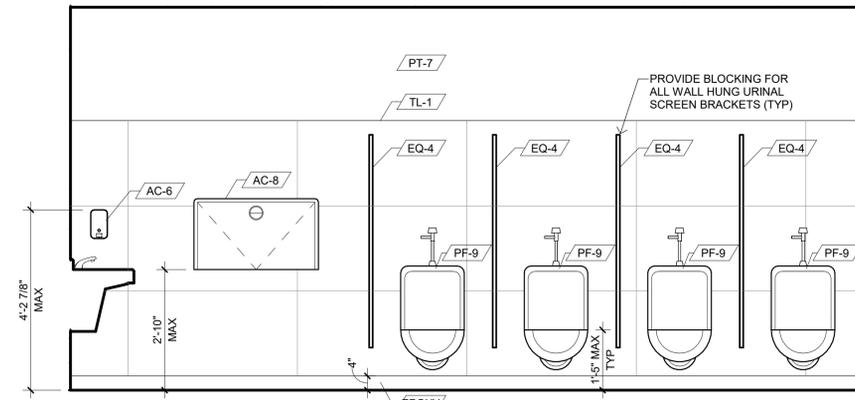
2 WOMENS RESTROOM - SOUTH ELEV
SCALE: 1/2" = 1'-0"



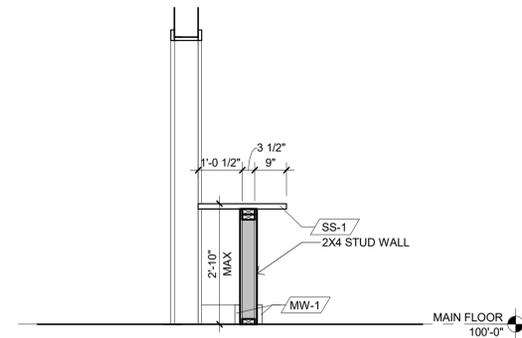
10 WATER FOUNTAINS ELEVATION
SCALE: 1/2" = 1'-0"



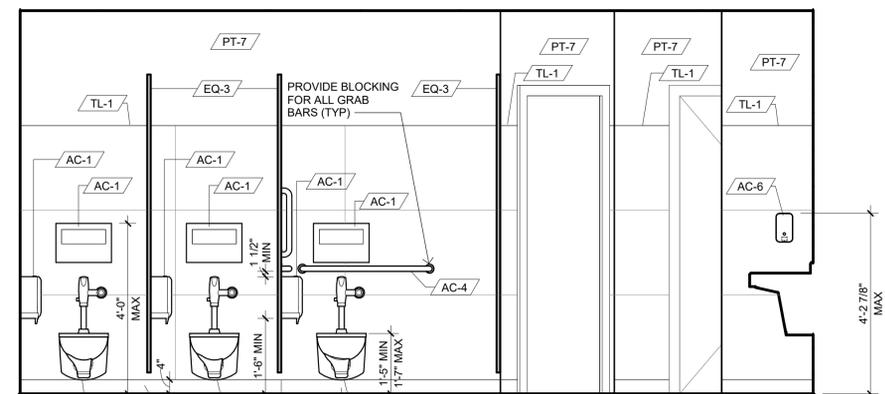
7 KITCHEN - NORTH ELEVATION
SCALE: 1/2" = 1'-0"



3 MENS RESTROOM - NORTH ELEV
SCALE: 1/2" = 1'-0"



8 DETAIL @ FRONT DESK
SCALE: 1/2" = 1'-0"



4 MENS RESTROOM - SOUTH ELEV
SCALE: 1/2" = 1'-0"

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ISSUE:

100% const docs	12 may 2023
review	17 nov 2023
pricing	2 feb 2024

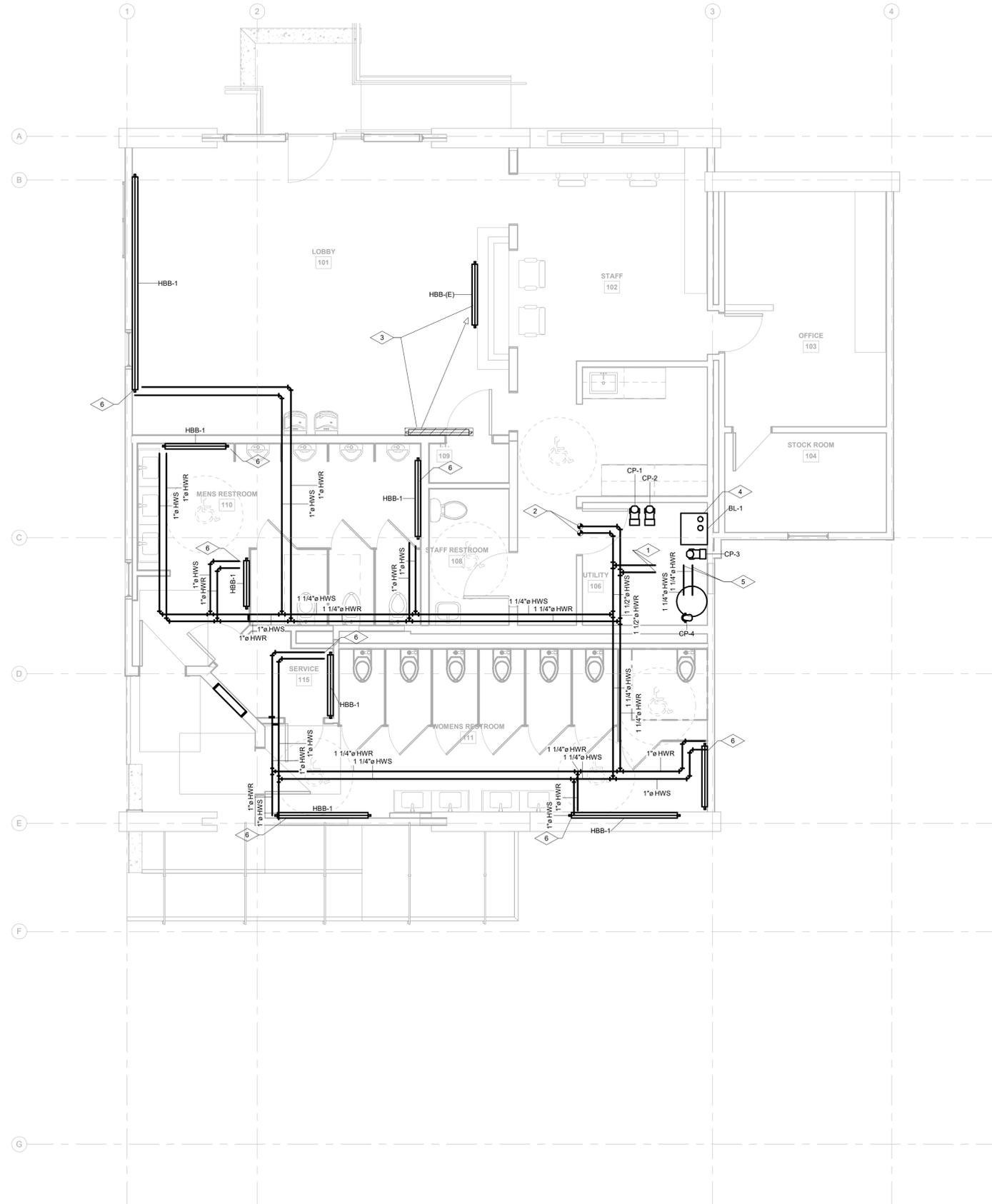
ENLARGED FLOOR
PLANS & INTERIOR
ELEVATIONS

draft
A802

HYDRONIC KEYNOTES	
Note Number	Note Text
1	PIPE FROM BOILER SYSTEM. REFER TO BOILER SCHEMATIC ON M2-1 FOR CONTINUATION.
2	BACKFEED EXISTING HYDRONIC BASEBOARD HEATERS FROM NEW BOILER SYSTEMS. FIELD VERIFY SIZE AND LOCATION OF EXISTING CONNECTION AND COORDINATE CONNECTIONS.
3	REROUTE PIPES AND RECONNECT RELOCATED HYDRONIC BASEBOARD AT NEW LOCATION.
4	NEW ELECTRIC BOILER. REFER TO BOILER PIPING SCHEMATIC ON M2-2 FOR ROUTING AND ACCESSORIES.
5	HOT WATER SUPPLY AND RETURN FROM BOILER TO WATER HEATER. REFER TO BOILER SCHEMATIC FOR MORE INFORMATION.
6	CONNECTION TO ALL HYDRONIC BASEBOARD HEATERS TO BE 1". REFER TO DETAIL ON M2-2 FOR BASEBOARD PIPING.

MECHANICAL GENERAL NOTES:

- DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL. DRAWINGS DO NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING, ETC. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
- DUCT DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL DUCTING SHALL BE INSULATED PER 2018 IECC CODE REQUIREMENTS. (SUPPLY AND RETURN AIR DUCTS AND PLENUMS SHALL BE INSULATED WITH NOT LESS THAN R-6 INSULATION WHERE LOCATED IN UNCONDITIONED SPACES AND WHERE LOCATED OUTSIDE THE BUILDING WITH NOT LESS THAN R-8 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8 WHERE LOCATED WITHIN A BUILDING ENVELOPE ASSEMBLY. THE DUCT OR PLENUM SHALL BE SEPARATED FROM THE BUILDING EXTERIOR OR UNCONDITIONED OR EXEMPT SPACES BY NOT LESS THAN R-8 INSULATION IN CLIMATE ZONES 1 THROUGH 4 AND NOT LESS THAN R-12 INSULATION IN CLIMATE ZONES 5 THROUGH 8.)
- COORDINATE FINAL LOCATION OF THERMOSTAT WITH OWNER PRIOR TO INSTALLATION. IF THERMOSTAT IS LOCATED ON EXTERIOR WALL PROVIDE THERMOSTAT WITH INSULATED BACKING.
- ALL MOTORIZED DAMPERS ON OUTDOOR AIR INTAKES AND EXHAUST SHALL BE PROVIDED WITH CLASS IA MOTORIZED DAMPERS WITH A MAXIMUM LEAKAGE RATE OF 4 CFM/F² AT 1.0 INCH WATER GAUGE WHEN TESTED IN ACCORDANCE WITH AMCA 5000. (PER 2012 IECC)
- MECHANICAL CONTRACTOR SHALL FIELD LOCATE EXISTING DUCTWORK PRIOR TO CONSTRUCTION. MECHANICAL CONTRACTOR SHALL COORDINATE TIE IN CONNECTION POINTS OF NEW SUPPLY DIFFUSERS WITH EXISTING DUCTWORK AS NECESSARY.
- CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO REMAIN IS PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT. CONTRACTOR TO INSURE THAT FINAL MECHANICAL SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
- MECHANICAL EQUIPMENT MANUFACTURERS AS SCHEDULED ON MECHANICAL DRAWINGS ARE SUGGESTED MANUFACTURERS. UNLESS NOTED OTHERWISE DUE TO OWNER/CLIENT REQUIREMENTS AND PREFERENCES. MECHANICAL CONTRACTOR CAN SUBMIT EQUIVALENT EQUIPMENT FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED MECHANICAL EQUIPMENT. ALTERNATE MANUFACTURERS OF MECHANICAL EQUIPMENT WILL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.



1 MAIN FLOOR HYDRONIC PLAN
SCALE: 1/4" = 1'-0"

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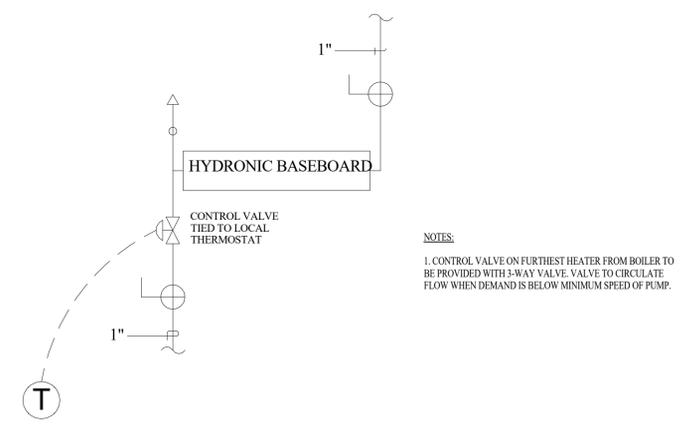
ISSUE: 100% REVIEW
11/15/2023

pricing	2 feb 2024
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MECHANICAL - PIPING
PLAN

draft

M2-1



NOTES:
1. CONTROL VALVE ON FURTHEST HEATER FROM BOILER TO BE PROVIDED WITH 3-WAY VALVE. VALVE TO CIRCULATE FLOW WHEN DEMAND IS BELOW MINIMUM SPEED OF PUMP.

TYPICAL HYDRONIC BASEBOARD HEATER PIPING DETAIL

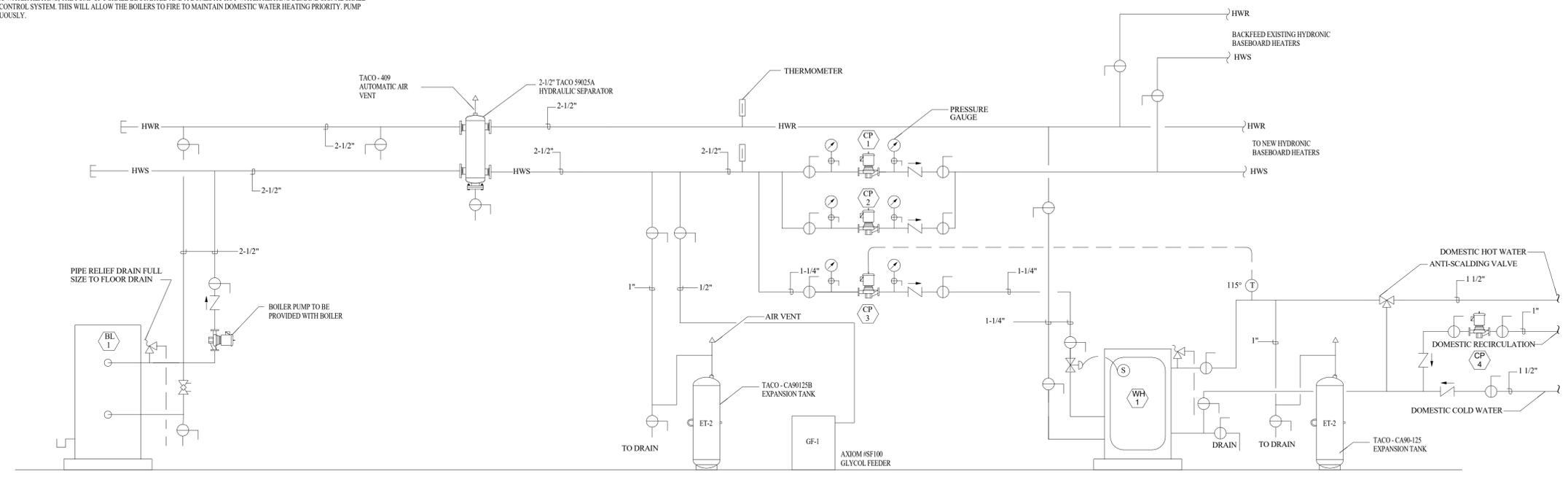
SCALE: NTS

SEQUENCE OF OPERATION:

ON A CALL FOR HEATING FROM ANY ZONE THERMOSTAT, THE SYSTEM PUMP CP-1.2 SHALL START AND THE BOILER CONTROL SYSTEM SHALL BE ENABLED TO FIRE AND SEQUENCE THE BOILERS.

THE BOILER ONBOARD CONTROL SYSTEM SHALL CONTROL THE FIRING OF THE BOILER. THE CONTROLS SHALL MONITOR OUTSIDE AIR, HOT WATER SUPPLY AND HOT WATER RETURN TEMPERATURES. THE BOILER CONTROLS SHALL START/STOP THE INDIVIDUAL BOILER VARIABLE SPEED CIRCULATION PUMPS PROVIDED BY THE MANUFACTURER.

ON A CALL FOR DOMESTIC WATER HEATING, THE PUMP CP-3 SHALL BE STARTED AND A DOMESTIC HOT WATER HEATING DEMAND SIGNAL SHALL BE SENT TO THE BOILER CONTROL SYSTEM. THIS WILL ALLOW THE BOILERS TO FIRE TO MAINTAIN DOMESTIC WATER HEATING PRIORITY. PUMP CP-3 SHALL RUN CONTINUOUSLY.



BUILDING HEATING BOILER PIPING DETAIL

SCALE: NTS

NOTE: FINAL FILL OF SYSTEM SHALL BE WITH SOLUTION OF 30% PROPYLENE GLYCOL.

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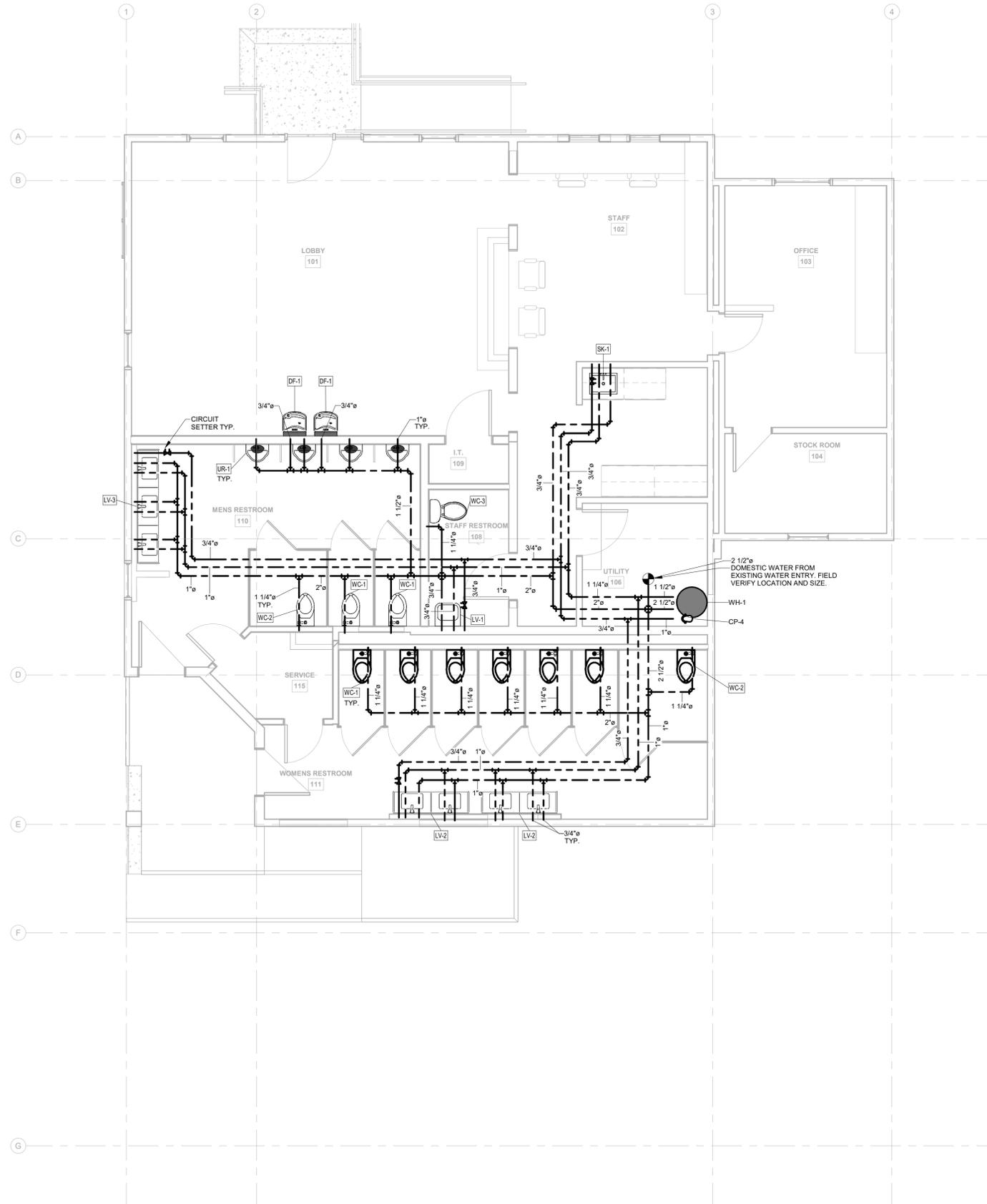
MECHANICAL - BOILER SCHEMATIC

draft

M2-2

PLUMBING GENERAL NOTES:

1. DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS AND SIZES MAY VARY. DURING FIELD COORDINATION & INSTALLATION OF MECHANICAL, PLUMBING, & ELECTRICAL, DRAWINGS DO NOT NECESSARILY INDICATE EVERY REQUIRED OFFSET, FITTING, ETC. DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS. TAKE ALL DIMENSIONS FROM ARCHITECTURAL DRAWINGS, CERTIFIED EQUIPMENT DRAWINGS AND FROM THE STRUCTURE ITSELF BEFORE FABRICATING ANY WORK. VERIFY ALL SPACE REQUIREMENTS COORDINATING WITH OTHER TRADES, AND INSTALL THE SYSTEMS IN THE SPACE PROVIDED WITHOUT EXTRA CHARGES TO THE OWNER.
2. PIPE DIMENSIONS DO NOT REFLECT ADDITIONAL DIMENSIONS FOR INSULATION. ALL PIPING SHALL BE INSULATED PER 2018 IECC CODE REQUIREMENTS.
3. ALL PLUMBING FIXTURES WITH QUICK CLOSING VALVES ON DOMESTIC COLD/HOT WATER SHALL BE PROVIDED WITH WATER HAMMER ARRESTOR.
4. PROVIDE ISOLATION VALVES AT GROUP RESTROOMS TO ALLOW FOR TOTAL ISOLATION OF THE ENTIRE RESTROOM GROUP FROM THE REST OF THE DOMESTIC COLD, HOT AND HOT RE-CIRCULATION SYSTEMS.
5. ALL PLUMBING FIXTURES SHALL BE VENTED BY PLUMBING CONTRACTOR PER IPC REQUIREMENTS.
6. CONTRACTOR SHALL CLEAN AND SERVICE ALL EXISTING EQUIPMENT/PLUMBING FIXTURES TO REMAIN. CONTRACTOR SHALL VERIFY ALL EQUIPMENT/PLUMBING FIXTURES ARE PROPERLY FUNCTIONING PRIOR TO RE-USING EQUIPMENT/FIXTURES. CONTRACTOR TO INSURE THAT FINAL PLUMBING SYSTEM WILL OPERATE AS INTENDED ON PROVIDED DRAWINGS.
7. PLUMBING FIXTURE MANUFACTURERS AS SCHEDULED ON PLUMBING DRAWINGS ARE SUGGESTED MANUFACTURERS AND MODELS. UNLESS NOTED OTHERWISE DUE TO OWNER/CLIENT REQUIREMENTS AND PREFERENCES, PLUMBING CONTRACTOR CAN SUBMIT EQUIVALENT FIXTURES FROM MANUFACTURERS THAT DIFFER FROM SCHEDULED PLUMBING FIXTURES. ALTERNATE MANUFACTURERS OF PLUMBING FIXTURES WILL BE REVIEWED FOR EQUIVALENCE OF PERFORMANCE AND FUNCTIONALITY BY ENGINEER.



1
P1-1 MAIN FLOOR PLUMBING PLAN
SCALE: 1/4" = 1'-0"

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PLUMBING FIXTURE SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL	TRIM	PIPE CONNECTIONS				OPTIONS/ACCESSORIES
					SW	VENT	CW	HW	
DF-1	WALL MOUNTED DRINKING FOUNTAIN	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	1 1/2"	1 1/2"	1/2"	-	SEE ARCH/INTERIOR PLANS
FD-1	FLOOR DRAIN	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	3"	1 1/2"	-	-	SEE ARCH/INTERIOR PLANS
LV-1	WALL MOUNTED LAVATORY	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	1 1/2"	1 1/2"	1/2"	1/2"	SEE ARCH/INTERIOR PLANS
LV-2	WALL MOUNTED GROUP LAVATORY	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	1 1/2"(x2)	1 1/2"(x2)	1/2" (x2)	1/2" (x2)	SEE ARCH/INTERIOR PLANS
LV-3	WAL MOUNTED GROUP LAVATORY	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	1 1/2"(x3)	1 1/2"(x3)	1/2" (x3)	1/2" (x3)	SEE ARCH/INTERIOR PLANS
SK-1	UNDERMOUNT KITCHEN SINK	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	1 1/2"	1 1/2"	1/2"	1/2"	SEE ARCH/INTERIOR PLANS
UR-1	WALL MOUNTED URINAL	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	3"	1 1/2"	1 1/4"	-	SEE ARCH/INTERIOR PLANS
WC-1	WALL MOUNTED FLUSH VALVE WATER CLOSET	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	4"	2"	1 1/4"	-	SEE ARCH/INTERIOR PLANS
WC-2	ADA WALL MOUNTED FLUSH VALVE WATER CLOSET	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	4"	2"	1 1/4"	-	SEE ARCH/INTERIOR PLANS
WC-3	FLOOR MOUNT TANK TYPE TOILET	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	SEE ARCH/INTERIOR PLANS	4"	2"	1 1/4"	-	SEE ARCH/INTERIOR PLANS

- NOTES:
 1. ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH ANY REQUIRED TRAPS, MIXING VALVES, ACCESSORIES AS SPECIFIED IN THE 2018 I.P.C.
 2. ALL FIXTURES WITH QUICK CLOSING VALVES SHALL BE PROVIDED WITH WATER HAMMER ARRESTORS.
 3. ALL FIXTURES USING DOMESTIC WATER ARE TO BE WATERSENSE RATED.

INDIRECT WATER HEATER SCHEDULE

TYPE MARK	TANK SIZE	RECOVERY @ 90 DEG. F RISE	HEATING INPUT (BTU/HR)	BOILER CONNECTION SIZE	DOMESTIC CW PIPE CONNECTION SIZE	MANUFACTURER	MODEL #	NOTES
WH-1	50	208	133000	1"	3/4"	RAYPAK	RSIT50	NOTE-1

- NOTES:
 1. PROVIDE WITH ASME TEMPERATURE AND PRESURE RELIEF VALVE, EXPANSION TANK, DOMESTIC HOT WATER RECIRCULATION SYSTEM IN ACCORDANCE WITH IECC, STAINLESS STEEL CONSTRUCTION, 2" INSULATION, POLYPROPYLENE JACKET, AQUASTAT, AND CONTROLS COORDINATED WITH BOILER.

PLUMBING SPECIFICATION

1. SCOPE OF WORK

- A. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK, MATERIALS, AND LABOR TO SATISFY A COMPLETE WORKING SYSTEM WHETHER SPECIFIED OR IMPLIED.
 B. ALL WORK IS TO BE PERFORMED IN STRICT COMPLIANCE WITH THE INTERNATIONAL PLUMBING CODE (LATEST EDITION), ALL LOCAL CODES AND ALL OTHER REGULATION GOVERNING WORK OF THIS NATURE.
 C. THE CONTRACTOR SHALL, BEFORE SUBMITTING ANY PROPOSAL, EXAMINE THE PROPOSED SITE AND SHALL DETERMINE FOR HIMSELF THE CONDITIONS THAT MAY AFFECT THE WORK. NO ALLOWANCE SHALL BE MADE IF THE CONTRACTOR FAILS TO MAKE SUCH EXAMINATIONS.
 D. ALL EQUIPMENT AND MATERIALS SHALL BE AS SPECIFIED OR "APPROVED AS EQUAL" BY THE ENGINEER OR ARCHITECT.

2. PERMITS

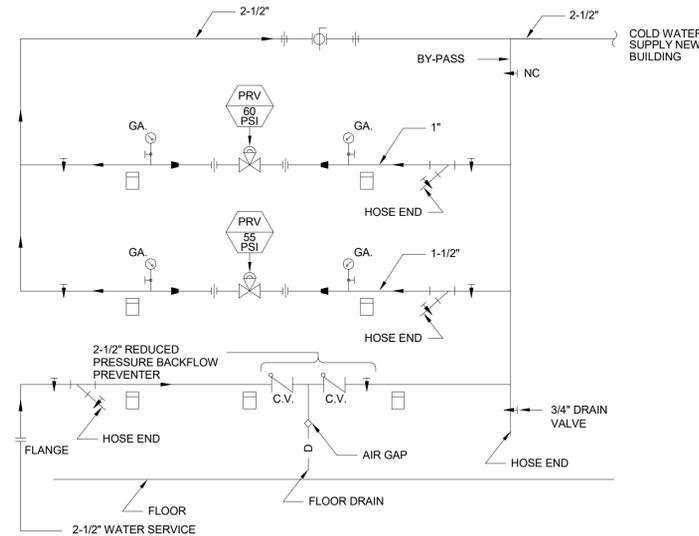
- A. THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS AND PAY ANY AND ALL FEES.

3. SHOP DRAWINGS

- A. SUBMIT MATERIAL LIST AND SHOP DRAWINGS FOR MAJOR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL SUBMIT FIVE SETS OF SHOP DRAWINGS AND THEY SHALL BE CLEARLY LABELED.

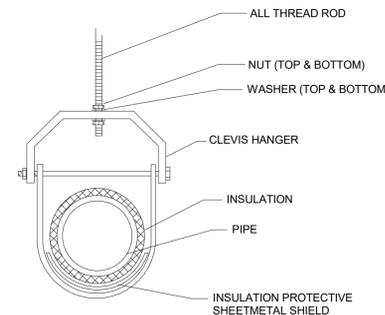
4. DOMESTIC WATER SUPPLY PIPING

- A. UNDERGROUND: PROVIDE TYPE "K" SOFT DRAWN COPPER TUBING WITH BRAZED CONNECTIONS.
 B. ABOVE GROUND: PROVIDE TYPE "L" HARD DRAWN COPPER TUBING WITH 125 PSI SOLDER JOINTS, COPPER OR BRASS FITTINGS. ALL SOLDER TO BE "NO LEAD" TYPE.
 C. ALL HOT WATER PIPING TO BE INSULATED WITH 1" FIBERGLASS INSULATION.
 D. ALL COLD WATER PIPING TO BE INSULATED WITH 1/2" FOAM INSULATION.
 5. SANITARY/STORM DRAINAGE AND VENT PIPING
 A. ABOVE GRADE:
 -2" BELOW: SCHEDULE 40 GALV. STEEL PIPE WITH SCREWED ENDS OR SOLID CORE SCHEDULE 40 PVC WITH SOLVENT JOINTS OR DWV COPPER WITH SOLDER JOINTS. ALL SOLDER TO BE "NO LEAD" TYPE.
 -3" AND ABOVE: SERVICE WT. CAST IRON WITH NO-HUB OR BELL AND SPIGOT JOINTS; OR SOLID CORE SCHEDULE 40 PVC WITH SOLVENT JOINTS.
 B. BELOW GRADE: SERVICE WT. CAST IRON WITH NO-HUB OR BELL AND SPIGOT JOINTS; OR SOLID CORE SCHEDULE 40 PVC WITH SOLVENT JOINTS.
 C. PVC PIPING SHALL NOT BE USED IN AIR PLENUM CEILINGS AND SHALL NOT CROSS FIRE RATED WALLS, CEILINGS, OR FLOORS.
 D. DRAINAGE PIPING SHALL BE RUN AS STRAIGHT AS POSSIBLE AND SHALL HAVE LONG TURN FITTINGS.
 E. DRAINAGE PIPING 3" SIZE AND SMALLER SHALL RUN AT A UNIFORM GRADE OF AT LEAST 1/8" PER FOOT. AND PIPING LARGER THAN 3" SHALL BE RUN AT A GRADE OF NO LESS THAN 1/8" PER FOOT.
 F. ALL VENT PIPING SHALL BE SLOPED TO DRAIN BACK TO FIXTURES.
 G. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FLASHING OF THE VENT PIPING RUN THROUGH THE ROOF.
 H. PVC USED TO BE SOLID CORE TYPE SCHEDULE 40 PVC.
 7. PIPE SUPPORTS
 A. ABOVE GRADE: ALL PIPE SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE IN A NEAT AND WORKMANLIKE MANNER. THE USE OF WIRE AND PERFORATED METAL TO SUPPORT PIPES WILL NOT BE PERMITTED. SPACINGS OF PIPE SUPPORTS SHALL BE AS SPECIFIED IN INTERNATIONAL PLUMBING CODE (LATEST EDITION).
 B. BELOW GRADE: EARTH SHALL BE EXCAVATED TO A MINIMUM DEPTH WITH AN EVEN SURFACE TO INSURE SOLID BEARING OF PIPE FOR ITS ENTIRE LENGTH.
 -INTERIOR: THE PIPE SHALL BE INSTALLED (UNLESS OTHERWISE SPECIFIED) A MINIMUM OF 4 INCHES BELOW THE BOTTOM OF THE SLAB AND SHALL NOT BE IN ANY DIRECT CONTACT WITH THE CONCRETE AT ANY POINT.
 -EXTERIOR: THE WATER PIPE SHALL HAVE A MINIMUM OF 60" OF COVER AND THE SANITARY WASTE PIPE SHALL HAVE A MINIMUM OF 24" OF COVER.
 8. MISCELLANEOUS
 A. COORDINATE INSTALLATION OF ALL ROOFS FLASHING AT ROOF PENETRATIONS.
 B. DO NOT SCALE THIS DRAWING FOR EXACT DIMENSIONS. VERIFY ALL FIGURES, CONDITIONS AND DIMENSIONS AT THE JOB SITE.
 C. THE PLUMBING PLANS ARE INTENDED TO BE DIAGRAMMATIC AND ARE BASED ON ONE MANUFACTURER'S EQUIPMENT. THEY ARE NOT INTENDED TO SHOW EVERY ITEM IN ITS EXACT LOCATION. THE EXACT DIMENSIONS OR ALL THE DETAILS OF THE EQUIPMENT. THE CONTRACTOR SHALL VERIFY THE ACTUAL DIMENSIONS OF THE EQUIPMENT PROPOSED TO ENSURE THAT THE EQUIPMENT WILL FIT THE AVAILABLE SPACE.
 9. TESTING
 A. PLUMBING SYSTEM SHALL BE FLOW AND PRESSURE TESTED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE (LATEST EDITION).
 10. GUARANTEE
 A. MATERIALS, EQUIPMENT AND INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE. DEFECTS WHICH APPEAR DURING THAT PERIOD SHALL BE CORRECTED AT THIS CONTRACTORS EXPENSE.
 B. FOR THE SAME PERIOD THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PREMISES CAUSED BY DEFECTS IN WORKMANSHIP OR IN THE WORK OR EQUIPMENT FURNISHED AND/OR INSTALLED BY HIM.



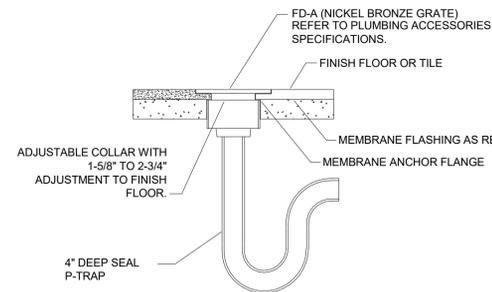
DOMESTIC WATER PRESSURE REDUCING STATION DETAIL

NOT TO SCALE



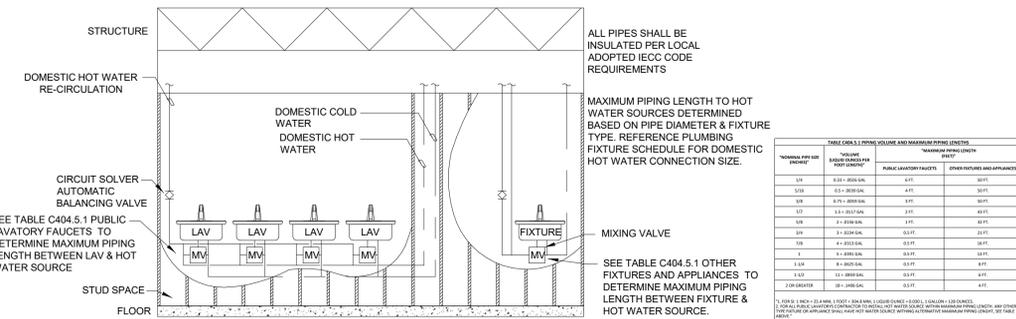
TYPICAL CLEVIS HANGER DETAIL

NOT TO SCALE



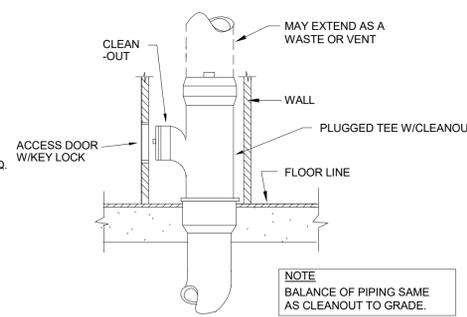
TOILET AREA FLOOR DRAIN

NOT TO SCALE



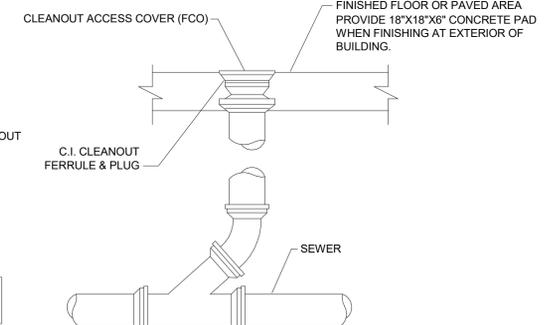
PLUMBING FIXTURE DOMESTIC HOT WATER RE-CIRCULATION DETAIL

NOT TO SCALE



WALL CLEANOUT DETAIL

NOT TO SCALE



CLEANOUT DETAIL

NOT TO SCALE

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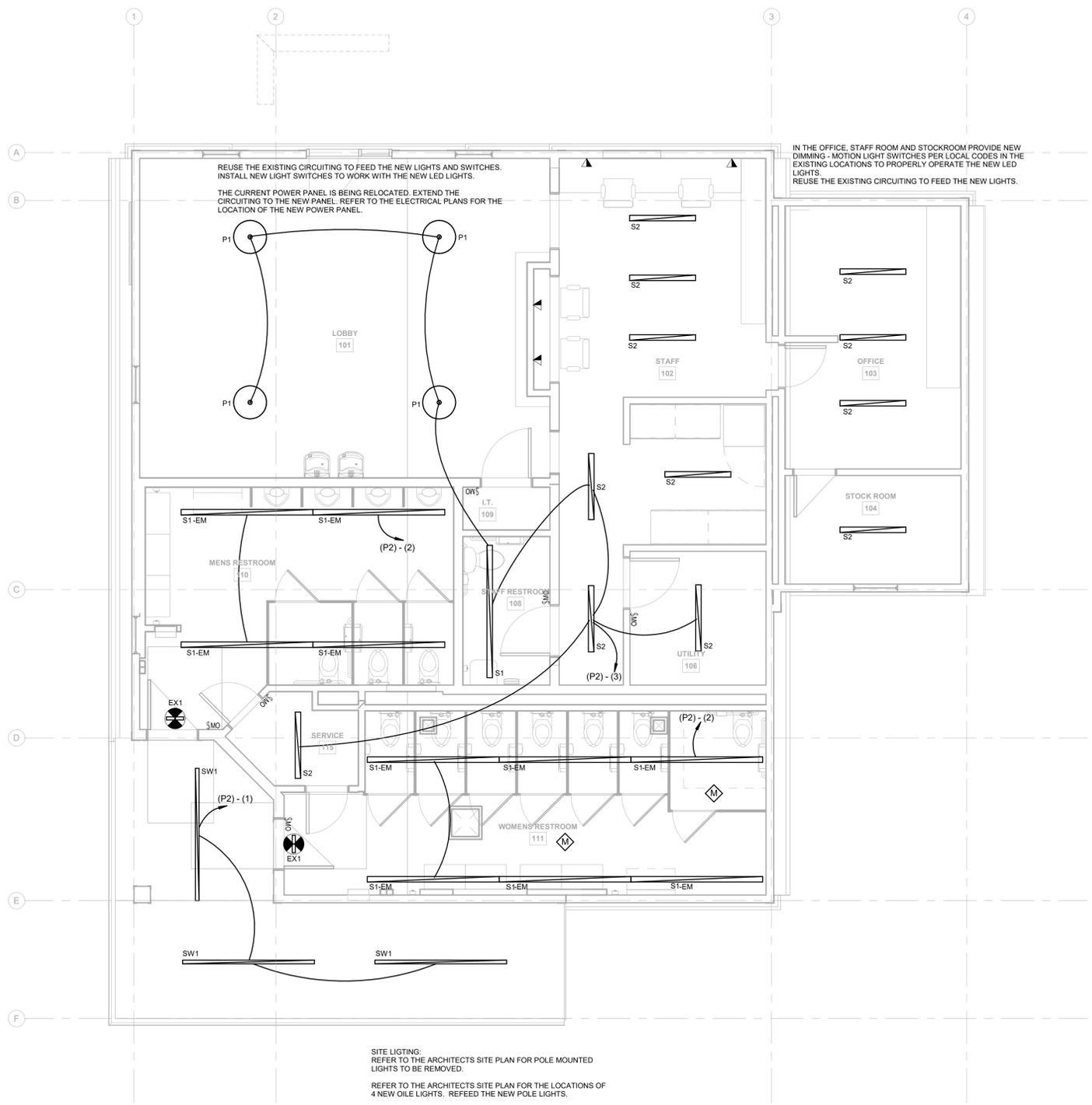
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PLUMBING SCHEDULES

draft

P3-1



1
E1-1
MAIN FLOOR LIGHTING PLAN
SCALE: 1/8" = 1'-0"

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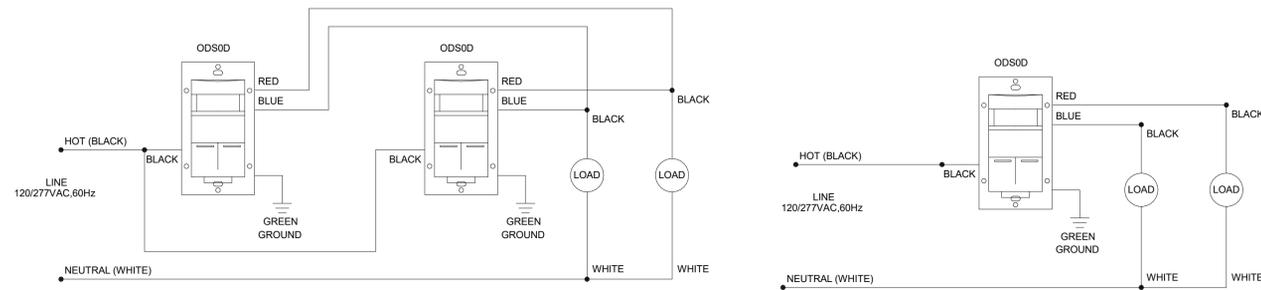
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frisco , colorado

PROJECT # 2129

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LIGHTING PLANS
draft
E1-1



BI-LEVEL SWITCHING DETAIL

NOT TO SCALE

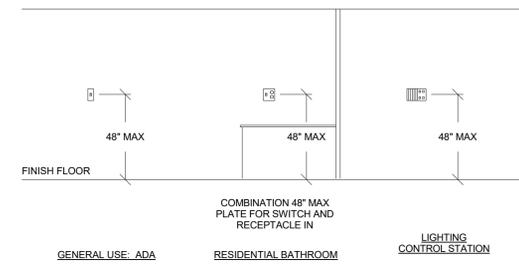
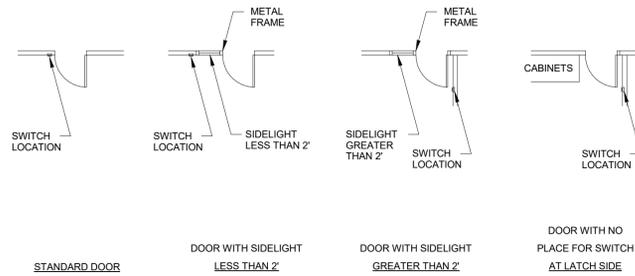
DETAIL NOTES:

1. PROVIDE SWITCHERS THAT ARE COMPATIBLE WITH THE LIGHT FIXTURES THAT ARE BEING INSTALLED.
2. PROVIDE DUAL CONTROL IN THE CORRIDORS AND ALL ROOMS WITH MORE THAN ONE DOOR.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE EXACT LOCATION OF THE SWITCHES WITH THE ARCHITECTURAL DETAILS OF THE SPACE.

LIGHTING FIXTURE SCHEDULE					
TYPE MARK	MANUFACTURER	MODEL	LAMP	DESCRIPTION	
EX1	Cooper Lighting	Surface Mount	LED	Exit Sign	
P1	LITFAD	21059740 - 23.5"	LED	PENDANT	
S1	COOPER LIGHTING	SQ4-8"	LED	FROSTED CONTINUOUS ROLL LENS; 1000LUMEN/FT; BLACK FINISH; SURFACE MOUNT; PROVIDE EM DESIGNATED FIXTURES WITH EMERGENCY BACKUP BATTERY	
S2	COOPER LIGHTING	SQ4-4"	LED	FROSTED CONTINUOUS ROLL LENS; 1000LUMEN/FT; BLACK FINISH; SURFACE MOUNT; PROVIDE EM DESIGNATED FIXTURES WITH EMERGENCY BACKUP BATTERY	
SW1	LUMENWERX	VIAWETW	LED	EXTERIOR WALL	

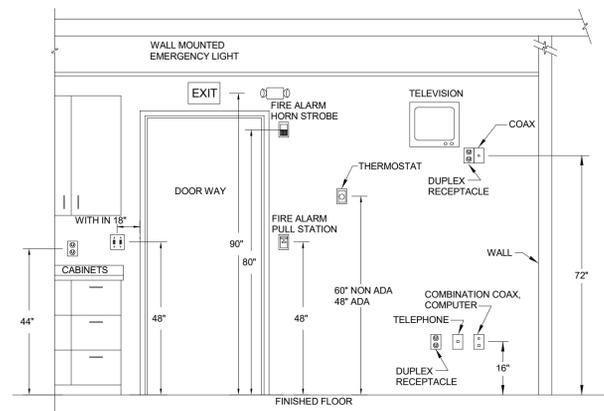
NOTES:

1. ALL LIGHTING FIXTURES DENOTED WITH "EM" SHALL BE INSTALLED TO PROVIDE THE REQUIRED LIGHT LEVELS ALONG THE PATH OF EGRESS PER ALL LOCAL CODES.
2. FIELD ADJUST THE LOCATION OF EXIT SIGNS FOR THE BEST VISIBILITY POSSIBLE. INSTALL THE NUMBER OF FACES REQUIRED AT EACH EXIT. ALL EXIT LIGHTS SHALL COMPLY WITH ALL LOCAL CODES.



SWITCH MOUNTING DETAILS

SCALE: NOT TO SCALE

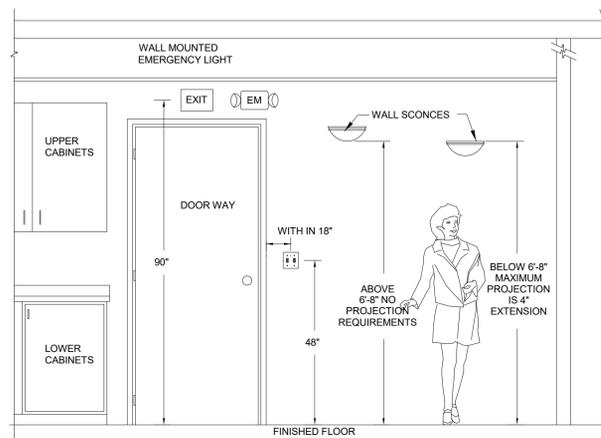


DEVICE MOUNTING HEIGHT DETAIL

NOT TO SCALE

NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL TELEVISION OUTLETS WITH THE ARCHITECT PRIOR TO INSTALLATION.
2. ALL DEVICES SHOWN ON THIS DETAIL ARE FOR REFERENCES OF MOUNTING HEIGHTS ONLY. THE ELECTRICAL CONTRACTOR SHALL FIELD ADJUST THE HEIGHTS OF THE DEVICES AS REQUIRED FOR PROPER MOUNTING OF THE DEVICES.
3. ALL DEVICES REQUIRED FOR THIS PROJECT MAY NOT APPEAR ON THIS DETAIL. ALL ITEMS SHOWN ON THIS DETAIL MAY NOT BE REQUIRED FOR THIS PROJECT.



LIGHTING DEVICE MOUNTING HEIGHT DETAIL

NOT TO SCALE

DETAIL NOTES:

1. ALL DEVICES SHOWN ON THIS DETAIL ARE FOR REFERENCES OF MOUNTING HEIGHTS ONLY. THE ELECTRICAL CONTRACTOR SHALL FIELD ADJUST THE HEIGHTS AND LOCATIONS OF THE DEVICES AS REQUIRED FOR PROPER MOUNTING.
2. ALL DEVICES REQUIRED FOR THIS PROJECT MAY NOT APPEAR ON THIS DETAIL. ALL ITEMS SHOWN ON THIS DETAIL MAY NOT BE REQUIRED FOR THIS PROJECT.
3. THE AMERICANS WITH DISABILITIES ACT, KNOWN AS ADA, AFFECTS LIGHT FIXTURES USED IN CIRCULATION OR EGRESS SPACES. IN PRACTICE THIS MEANS THAT WALL MOUNTED FIXTURES LOCATED BELOW 6'-8" AFF IN HALLS, CORRIDORS, PASSAGeways OR AISLES, MUST BE NO GREATER THAN 4" DEEP. THE ADA AFFECTS CONSTRUCTION FOR BOTH NEW AND EXISTING BUILDINGS.

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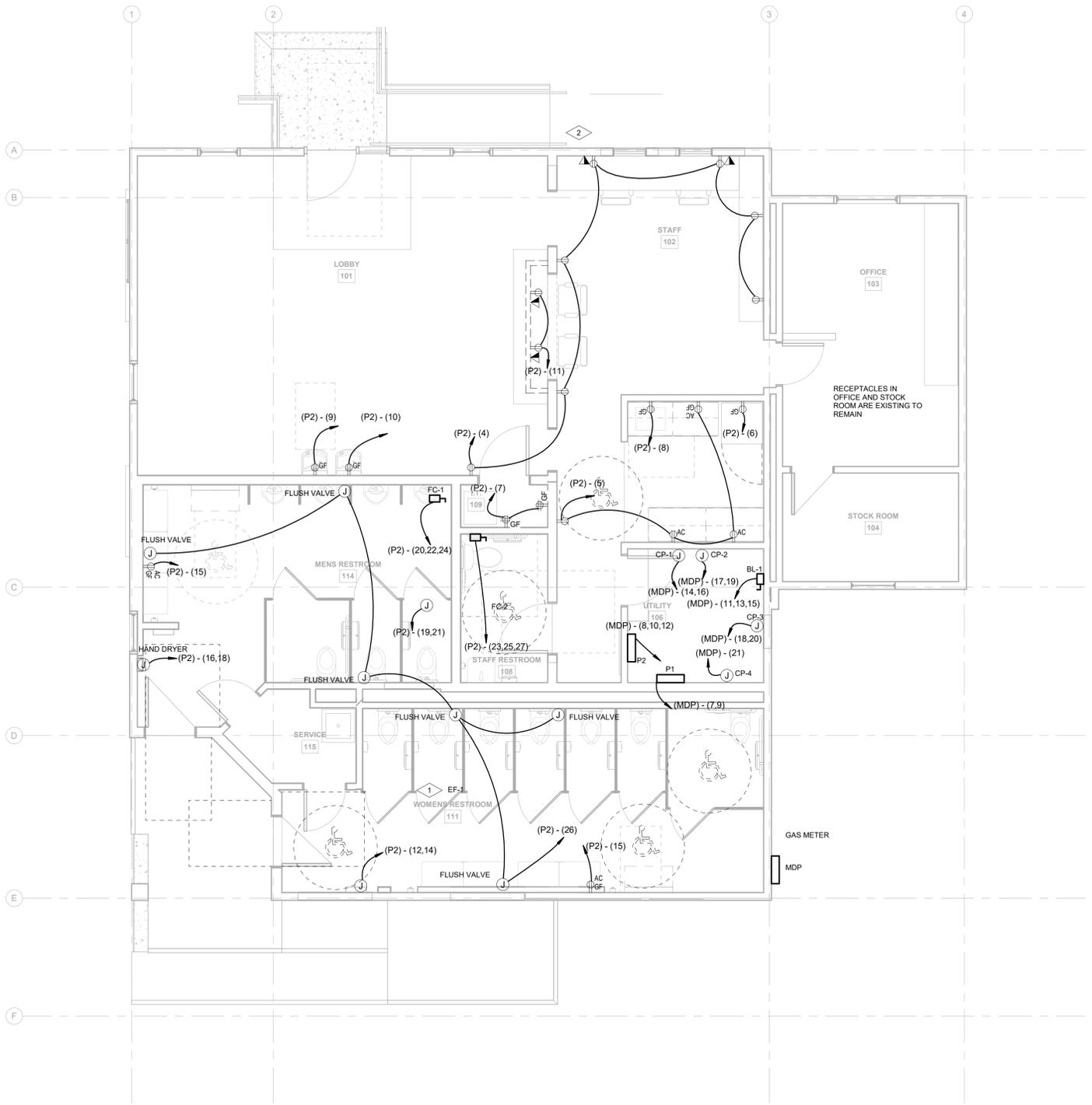
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02 ELECTRICAL KEYNOTES	
Note Number	Note Text
1	EXHAUST FAN TO REMAIN ON DURING HOURS OF OCCUPANCY.
2	PROVIDE SEPARATE CIRCUIT & CONDUIT UNDER SIDEWALK TO PROVIDE POWER FOR EXISTING TOWN CLOCK ON MAIN STREET



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1 MAIN FLOOR POWER PLAN
E2-1 SCALE: 1/4" = 1'-0"

POWER PLANS
draft
E2-1

